

**CITY OF MISSION
DEVELOPMENT PERMIT DP19-176**

Issued to: Hurd Street Ventures Ltd., Inc. No. BC1156884

(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: Box 3505, Mission, BC, V2V 4L1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Permit applies to and only to those lands within the Municipality, and more particularly known and described as below, and any and all buildings, structures and development thereon:

7513 Hurd Street

Parcel Identifier: 000-992-801

Lot 9 Except: Part Road Plan 68830, Section 20 Township 17 New Westminster District Plan 905

3. The above property has been designated as **Development Permit Area C Mixed-Use and Commercial** in the Official Community Plan.

The said lands are zoned Comprehensive Development 49 (CD49) Zone pursuant to "District of Mission Zoning Bylaw 5949-2020" as amended.

"District of Mission Zoning Bylaw" as amended is hereby supplemented in respect of the said lands as follows:

Building design, siting and landscaping plans to be as shown on Drawings Numbered: SD0.01 - SD4.15 inclusive, and landscape drawing L1 which are attached hereto and form part of this permit.

Minor changes to the aforesaid drawings that do not affect the intent of this Development permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Municipality.

4.
 - (a) The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans numbered: SD0.01 - SD4.15 inclusive, prepared by Keystone Architecture & Planning Ltd. (hereinafter referred to as "the plans"), unless approval in writing has been obtained from the Municipality to deviate from the said development plan.
 - (b) Access to and egress from the said lands shall be constructed substantially in conformance with the plans.
 - (c) Parking and siting thereof shall substantially conform to the plans.
 - (d) The following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto as Drawing Number L1 prepared by PMG Landscape Architects.

- (ii) All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the Municipality.
5. As a condition of the issuance of this development permit, the Municipality must have in its possession, prior to issuance of a building permit for this development, security as set out below to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clauses 5 (b) and (c) below. It is acknowledged that, at the time of issuance of this development permit, the municipality does not have such security in its possession. Any prospective purchaser or developer should be aware that this requirement will need to be fulfilled prior to issuance of a building permit for the development outlined in this permit.
- (a) An Irrevocable Letter of Credit in the amount of \$407,058.00 for the purpose of:
- (b) A condition of the posting of the security is that should the Permittee fail to carry out the works or services as herein above stated, according to terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by servants, agents or contractors, and any surplus shall be paid over to the Permittee. If the security deposit is insufficient to cover the actual cost of completing the said works, then the Developer shall pay such deficiency to the Municipality immediately upon receipt of the Municipality's bill for same.
- (c) The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.
- If the landscaping is not approved within this six (6) month period, the Municipality has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.
- If the landscaping is approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the Municipality having to draw the security, 90% of the original security will be returned to the Permittee.
- A holdback of 10% of the original security will be retained until a final inspection is undertaken within 12 months of the date of the original inspection approval was given to the landscaping. If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee. If, after the final inspection, approval of the landscaping is not given, the Municipality has the option of continuing to renew the security until the required landscaping is approved or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.
6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.

9. This permit is not a building permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

MAYOR

CORPORATE OFFICER

Development Permit DP19-176

HURD STREET - MIXED USE



The Rise

sheet schedule

S00.01	COVER PAGE	071520 PLAN
S00.02	PROJECT DATA	071520 PLAN
S01.01	PROJECT DATA	1ST FLOOR PLANS
S02.02	PROJECT DATA	2ND FLOOR PLANS
S03.04	CONCEPT PLANS	3RD FLOOR PLANS
S04.05	DESIGN BENCHMARK	4TH FLOOR PLANS
S05.06	RENDERINGS	5TH FLOOR PLANS
S06.07	RENDERINGS	ROOF PLANS
S07.08	RENDERINGS	BUILDING ELEVATIONS
S08.09	RENDERINGS	BUILDING ELEVATIONS
S09.10	RENDERINGS	BUILDING ELEVATIONS
S10.11	RENDERINGS	BUILDING ELEVATIONS
S11.12	RENDERINGS	BUILDING ELEVATIONS
S12.13	RENDERINGS	BUILDING ELEVATIONS
S13.14	RENDERINGS	BUILDING ELEVATIONS
S14.15	RENDERINGS	LOT PLAN

keystone architecture & planning ltd.
304 850 0577 | 300 33121 south insect way
1.866.288.4518 | abbotsford, bc v2t 2b1, CANADA



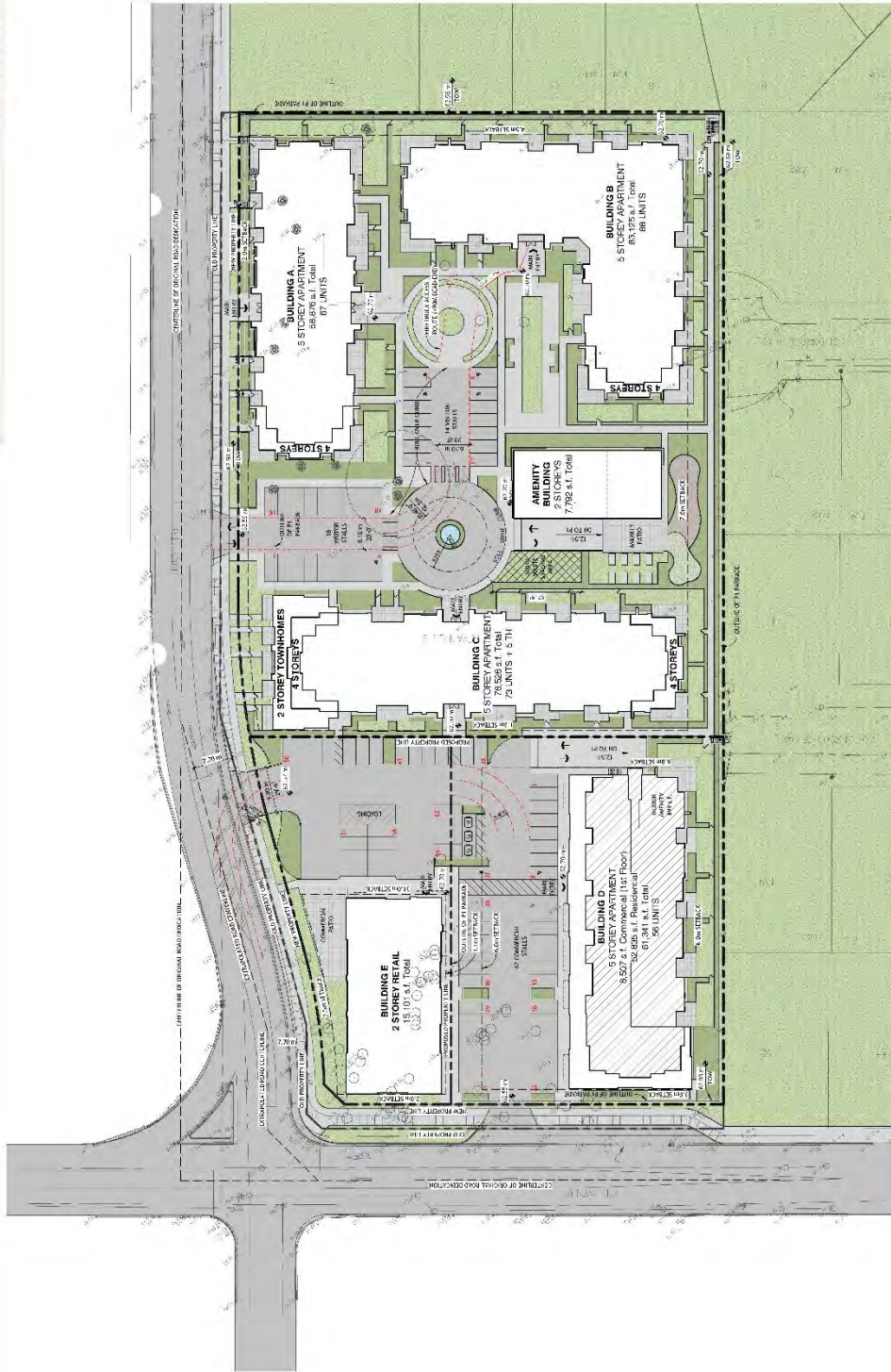
HURD STREET DEVELOPMENT
75-7 HURD STREET, MISSION, B.C.

COVER PAGE
SCALE: N/A

DP RE-SUBMISSION
DISTRICT OF MISSION (DP19018-18)
PROJECT NUMBER: 19-233

SD0.01

HURD STREET - MIXED USE



SITE PLAN
1" = 20' 0"



DP RE-SUBMISSION
2019-10-10 - REVISED ON: 11-14-19
PROJECT NUMBER: 05183

SD1.00

HURD STREET DEVELOPMENT
7815 HURD STREET, MASON, R.C.

SITE PLAN
5/4" = 1" = 30' 0"



keyconsearch.ca

HURD STREET - MIXED USE

0.3.0 unit count summary

UNIT TYPE	UNIT COUNT	UNIT TYPE %
BUILDING A	13	4.5%
1.1BDR/CON	14	5.5%
2.1BDR/CON+M/A	26	8.3%
3.1BDR/CON	11	3.8%
BUILDING A PT		23.8%
BUILDING B	12	4.2%
1.1BDR/CON	27	9.3%
2.1BDR/CON	23	7.6%
2.2BDR/CON+M/A	25	8.0%
BUILDING B BT		30.6%
BUILDING C	8	3.8%
1.1BDR/CON	14	4.5%
1.1FT/3.0K/CON	5	1.7%
2.1BDR/CON+M/A	24	7.9%
2.2BDR/CON+M/A	8	2.8%
1P, 2BDR/3000	8	2.8%
BUILDING C BT		27.0%
BUILDING D	29	9.7%
1.1BDR/CON	14	4.5%
2.1BDR/CON+M/A	15	5.0%
2.2BDR/CON+M/A	5	1.7%
BUILDING D BT		19.4%
TOTAL UNITS: 289		100.0%

Solid Waste Disposal Data:

LOT 1: (BUILDINGS A, B, & C):
GARBAGE: REQUIRED VOLUME FOR APARTMENTS: 228 UNITS X 50L = 11,400L
 REQUIRED VOLUME FOR TOWNHOUSES: 5 UNITS X 80L = 400L
 TOTAL VOLUME REQUIRED: 11,800L = 4 - 4 YARD BINS (WEEKLY COLLECTION)
RECYCLING: REQUIRED VOLUME FOR APARTMENTS: 228 UNITS X 50L = 11,400L
 REQUIRED VOLUME FOR TOWNHOUSES: 5 UNITS X 80L = 400L
 TOTAL VOLUME REQUIRED: 11,800L = 4 - 4 YARD BINS (WEEKLY COLLECTION)
COMPOST: REQUIRED VOLUME FOR APARTMENTS: 228 UNITS X 40L = 9,120L
 REQUIRED VOLUME FOR TOWNHOUSES: 5 UNITS X 80L = 400L
 TOTAL VOLUME REQUIRED: 9,520L = 2 - 4 YARD BINS (WEEKLY COLLECTION)

LOT 2: (BUILDING D - residential only):
GARBAGE: REQUIRED VOLUME FOR APARTMENTS: 89 UNITS X 50L = 4,450L = 2 - 4 YARD BIN (1 ADDITIONAL)
RECYCLING: REQUIRED VOLUME FOR APARTMENTS: 89 UNITS X 50L = 4,450L = 1 - 4 YARD BIN
COMPOST: REQUIRED VOLUME FOR APARTMENTS: 89 UNITS X 40L = 3,560L = 1 - 4 YARD BIN

LOT 3: (BUILDINGS E - COMMERCIAL IN BLDG D):
GARBAGE: 2 - 4 YARD BINS PROVIDED
RECYCLING: 1 - 4 YARD BIN PROVIDED

Vehicle Parking Data:

LOT 1: (BUILDINGS A, B, & C):
BUILDING A: 1.5 STALLS / UNIT = 15 X 67 = 101 STALLS
APARTMENTS: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOWNHOUSES: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOTAL FOR BLDG A: 114 STALLS
BUILDING B: 1.5 STALLS / UNIT = 15 X 68 = 102 STALLS
APARTMENTS: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOWNHOUSES: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOTAL FOR BLDG B: 194 STALLS
BUILDING C: 1.5 STALLS / UNIT = 15 X 78 = 117 STALLS
APARTMENTS: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOWNHOUSES: 2.0 STALLS / UNIT = 20 X 65 = 130 STALLS
TOTAL FOR BLDG C: 197 STALLS
PARKING PROVIDED FOR LOT 1:
 VISITOR: 47 STALLS
 RESIDENT: 383 STALLS
TOTAL: 430 STALLS
PARKING PROVIDED FOR LOT 2:
 VISITOR: 47 STALLS
 RESIDENT: 383 STALLS
TOTAL: 430 STALLS
LOT 2 & 3: (BUILDINGS D & E)
BUILDING D: 1.5 STALLS / UNIT = 15 X 58 = 87 STALLS
APARTMENTS: 2.0 STALLS / UNIT = 20 X 59 = 118 STALLS
TOWNHOUSES: 2.0 STALLS / UNIT = 20 X 59 = 118 STALLS
TOTAL FOR BLDG D: 113 STALLS
BUILDING E: 1.5 STALLS / UNIT = 15 X 58 = 87 STALLS
APARTMENTS: 2.0 STALLS / UNIT = 20 X 59 = 118 STALLS
TOWNHOUSES: 2.0 STALLS / UNIT = 20 X 59 = 118 STALLS
TOTAL FOR BLDG E: 56 STALLS
PARKING PROVIDED FOR LOTS 2 & 3:
 VISITOR: 94 STALLS
 RESIDENT: 501 STALLS
TOTAL: 595 STALLS

Bicycle Parking Data:

LOT 1: (BUILDINGS A, B, & C):
SHORT TERM STALLS REQUIRED: APARTMENT USE: 250 VEHICLE STALLS X 15% = 38 STALLS
LONG TERM STALLS REQUIRED: APARTMENT USE: 250 VEHICLE STALLS X 15% = 38 STALLS
TOTAL SHORT TERM STALLS PROVIDED: 68 STALLS
TOTAL LONG TERM STALLS PROVIDED: 68 STALLS
LOT 2: (BUILDING D)
SHORT TERM STALLS REQUIRED: APARTMENT USE: 84 VEHICLE STALLS X 15% = 13 STALLS
LONG TERM STALLS REQUIRED: APARTMENT USE: 84 VEHICLE STALLS X 15% = 13 STALLS
TOTAL SHORT TERM STALLS PROVIDED: 13 STALLS
TOTAL LONG TERM STALLS PROVIDED: 13 STALLS
LOT 3: (BUILDINGS E - COMMERCIAL IN BLDG D)
SHORT TERM STALLS REQUIRED: 72 VEHICLE STALLS X 15% = 11 STALLS
LONG TERM STALLS REQUIRED: 72 VEHICLE STALLS X 15% = 11 STALLS
TOTAL SHORT TERM STALLS PROVIDED: 19 STALLS
TOTAL LONG TERM STALLS PROVIDED: 19 STALLS

EV Stall Data:

LOT 1: (BUILDINGS A, B, & C):
EV STALLS REQUIRED: 1 TROUGH PER VEHICLE STALL = 393 STALLS
EV STALLS PROVIDED: 4 ROUGH IN PER UNIT = 233 STALLS
EV STALLS PROVIDED: 233 STALLS
LOT 2: (BUILDING D)
EV STALLS REQUIRED: 1 TROUGH PER VEHICLE STALL = 84 STALLS
EV STALLS PROVIDED: 4 ROUGH IN PER UNIT = 53 STALLS
EV STALLS PROVIDED: 53 STALLS
LOT 3: (BUILDINGS E - COMMERCIAL IN BLDG D)
EV STALLS REQUIRED: 20% OF VEHICLE STALLS TO BE HOURLY IN = 14 STALLS
EV STALLS PROVIDED: 14 FULLY INSTALLED CHARGER IN PI

0.4.0 zoning reconciliation table

ZONE / ITEM	PROPOSED / EXISTING	COMMENTS
A. ZONE / ITEM:	PROPOSED: CD ZONE	Proposed development provides for the services, ability of existing residential units are one or two units per lot, a designated neighborhood, and a mix of uses. The proposed development is located in a residential neighborhood.
B. PERMITTED USES:	Proposed: Residential, Retail, Office, Professional Services, Restaurants, Nightclubs, Entertainment, and other uses, including a mix of residential and commercial uses.	Proposed development includes retail, office, and other uses, which are allowed by the zoning code. The proposed development also includes a mix of residential and commercial uses.
C. SETBACKS:	Proposed: 6.2m Min: 5.0m Max: 2.0m Proposed: 5.0m - 4.0m	As Noted in Submittal #19.
D. LOT COVERAGE:	Proposed: 12.2 (33%) Existing: 12.2 (33%)	As Noted in Submittal #19.
E. HEIGHT:	Proposed: 12.2 (33%) Existing: 12.2 (33%)	As Noted in Submittal #19.
F. HEIGHT OF BUILDINGS:	Proposed: 12.2 (33%) Existing: 12.2 (33%)	As Noted in Submittal #19.
G. AMENITY SPACE:	Proposed: 12.2 (33%) Existing: 12.2 (33%)	As Noted in Submittal #19.
H. OFF-STREET MOTOR VEHICLE PARKING:	Proposed: 12.2 (33%) Existing: 12.2 (33%)	As Noted in Submittal #19.



HURD STREET DEVELOPMENT
 ARCHITECTURAL ASSOCIATES

PROJECT DATA
 DATE: 11/11

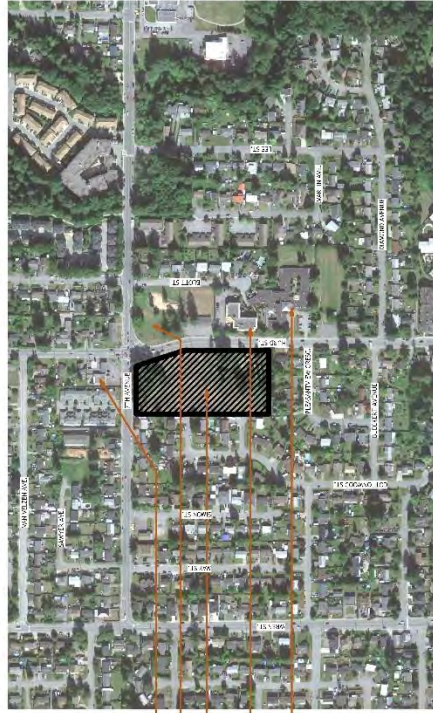
DP RE-SUBMISSION
 DATE: 11/11

SD.1.02

HURD STREET - MIXED USE

location

THE PROPOSED DEVELOPMENT IS LOCATED AT 7513 HURD STREET, MISSION, BC. THE SITE LIES BETWEEN 7TH AVENUE AND NEIGHBOURING PARK VIEW AND PLEASANT VIEW CARE HOMES. TO THE EAST OF THE DEVELOPMENT IS THE MISSION FUR OMAA HOSPITAL.

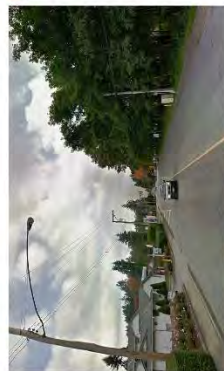


location map: mission, bc

esso station



zoomed location map: 7513 Hurd Street, Mission, BC



7th Avenue - looking east



7th Avenue - looking west



Hurd St. - looking south



Hurd St. - looking north



esso station



park



neighbouring apartment



pleasant view care home



HURD STREET DEVELOPMENT
7513 HURD STREET, MISSION, BC

CONTEXT PLAN
SCALE: 1:125

DP RE-SUBMISSION
PROJECT # 19-005-103
PROJECT NUMBER: 19-176

SD1.03

HURD STREET - MIXED USE

design rationale

project description

THIS PROJECT DESCRIBES A MIXED-USE DEVELOPMENT OF FOUR STORY WOOD FRAME MULTI-FAMILY RESIDENTIAL BUILDINGS TOTALING 288 UNITS OVER THREE LEVELS OF CONCRETE PARKADE GROUND PROVIDED ALONG THE BUILDING FOOTPRINT AND A STAND-ALONE BICYCLE REPAIR AND STORAGE FACILITY. THE DEVELOPMENT WILL BE A LEADING EXAMPLE OF SUSTAINABLE AND GREEN BUILDING PRACTICES FOR REDURTYDE.

massing, form & character

THE OVERALL DEVELOPMENT IS DESIGNED AS A CENTRAL HUB OF COMMUNITY PROMOTING PARKING AND INTERCONNECTIVITY WITH THE MAIN ENTRANCES OF BUILDINGS A, B & C, WITH ACCESS PROVIDED TO THE PARKADE AND BICYCLE REPAIR AND STORAGE FACILITY. THE DEVELOPMENT WILL BE A LEADING EXAMPLE OF SUSTAINABLE AND GREEN BUILDING PRACTICES FOR REDURTYDE.

THE STYLING AND MASSING OF THE BUILDINGS WITHIN THIS DEVELOPMENT IS DESIGNED TO ALLOW NATURAL DAYLIGHT AND VISIBILITY WITHIN THE COURTYARD SPACES AND CREATE A UNIQUE CHARACTER FOR THE BUILDINGS TO ENJOY WORK, AND LEASE.

THE EXTERIOR DESIGN OF THE BUILDINGS IS COMBINED WITH A MODERN CONTEMPORARY VENEUE, THE MASSING AND FINISH AT THE BUILDINGS WILL BE DESIGNED TO MEET THE HIGH STANDARDS AND SET A NEW DESIGN STANDARD FOR FUTURE DEVELOPMENT IN THE AREA.

EXTERIOR MATERIALS INCLUDE WOOD TRIM, CLM (MID) OIL LAP SIDING, FLAT PANEL SIDING WITH CONTRASTING BRUSHED ALUMINUM REVEAL. THE GROUND PLANE WITH WOOD DECKING AND HEAVY TIMBER FRAMING MEMBERS AT ENTRIES AND TERRACES. THE BUILDINGS WILL BE FINISHED WITH SUPPER PREMIUM TRAFFIC FLOORING, GRANITE IN COLOUR, MATERIALS AND TONES, PROVIDING BALANCE, INTEREST, AND A SENSE OF HIGH QUALITY TO THE FACADE AND AT THE STREET LEVEL.

THE COLOUR PALETTE EXPRESSES A "WEST COAST" WOODLAND DESIGN THEME USING NATURAL WOOD TONES AND MATERIALS. THE BUILDINGS WILL ENHANCE THE NEIGHBOURHOOD AND WILL ALSO ENHANCE THE QUALITY OF LIFE FOR THE BUILDING OWNERS. THE BUILDINGS WILL BE FINISHED WITH STEPPED UP ROOF FEATURES AT ENTRIES AND RAISED CORNER ELEMENTS, STEEPED ROOFS, AND ROOF DECKS, LANDSCAPED AND MAINTAINED EXTERIOR AMENITY SPACES, AND LANDSCAPED STREET PATIOS FOR COMMERCIAL USE.

environmental sustainability

ADDRESSER WITHIN THE DEVELOPMENT BY THE MEANS OF GREEN ROOFS, RAIN WATER HARVESTING, LARGE OPEN GREEN SPACES, LIGHT POLLUTION REDUCTION BY MEANS OF DARK SKY COMPLIANT EXTERIOR LIGHTING SYSTEMS, WATER EFFICIENT AND ENERGY EFFICIENT HVAC SYSTEMS, STORAGE AND RECYCLING PROGRAMS, AND OTHER SUSTAINABLE DESIGN FEATURES. THE BUILDINGS WILL BE FINISHED WITH GREEN ROOFS, RAIN WATER HARVESTING, AND OTHER SUSTAINABLE DESIGN FEATURES.

crime prevention

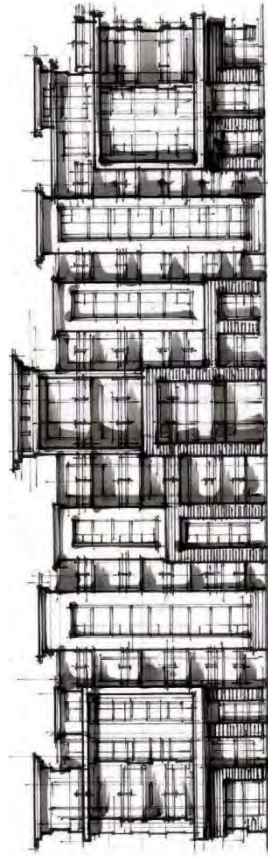
ENVIRONMENTAL DESIGN PRINCIPLES (EDDP) HAVE BEEN INCORPORATED INTO THE DESIGN BY MEANS OF NATURAL SURVEILLANCE THROUGH THE USE OF VERTICAL GLAZING, COURTYARDS, AND PARKADE LEVELS. IN addition, CLEAR VIEWING LINES FROM THE RECEPTION UNITS AND BALCONIES, ELIMINATION OF ALL VISUAL BARRIERS, AND THE USE OF CLEAR GLASS FOR INTERIOR PARTITIONS AND FULLY ACCESSIBLE PARKING.



north-east concept sketch (perspective view)



building C townhome concept sketch (perspective view)



building A concept sketch (elevation view)



keynote architects
keynote-architects.ca

HURD STREET DEVELOPMENT
2713 HURD STREET, MISSISSAUGA, ONT. L4X 1L7

DESIGN RATIONALE
SCALE: N=15

DP RE-SUBMISSION
2024-01-15, REVISION # 1
SUBMITTED TO MISSION 191-4920(S-03)
PROJECT NUMBER: 191-4920

SD1.04

HURD STREET - MIXED USE



View of Bldg A North-East Corner
1/8" = 1'-0"

View of Bldg A & B from Hurd Street
1/8" = 1'-0"



keystonearch.ca

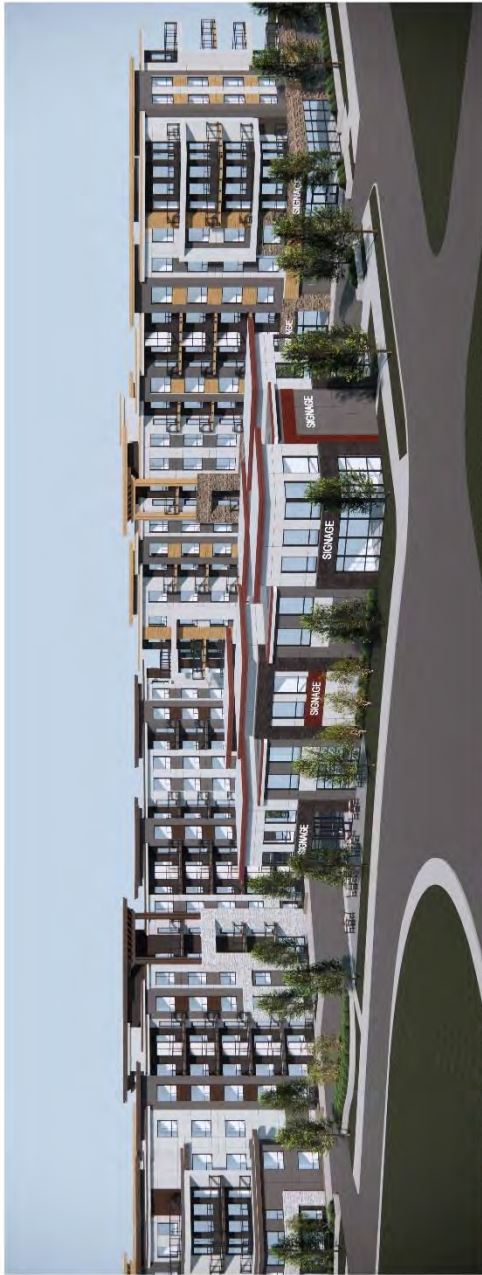
HURD STREET DEVELOPMENT
7533 HURD STREET, MISSION, B.C.

RENDERINGS
SCALE: N.T.S.

DP RE-SUBMISSION
2024.01 REGIONAL
DISTRICT OF MISSION FILE #R2023-143
PROJECT NUMBER: 19-736

SD1.10

HURD STREET - MIXED USE



View of Bldg C, D, & E from Intersection



View of Bldg D & E from Hurd



keystoneresearch.ca

HURD STREET DEVELOPMENT
75-3 HURD STREET, MISSISSAUGA, ONT.

RENDERINGS
SCALE: N.T.S.

DP RE-SUBMISSION
70-04-001 REVISION #1
D. STR. CT. FOR MISSION T.I.P. #P20-19-143
PROJECT NUMBER: 19-036

SD.1.11



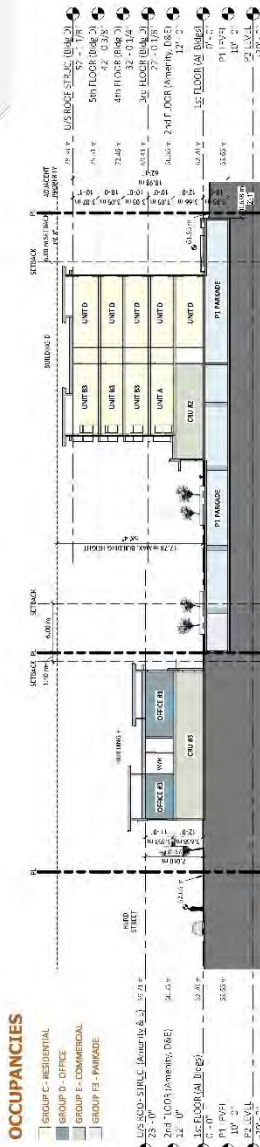
HURD STREET DEVELOPMENT
75.3 HURD STREET, MISSION, CA

PROJECT ELEVATIONS
SCALE: 1" = 20'-0"

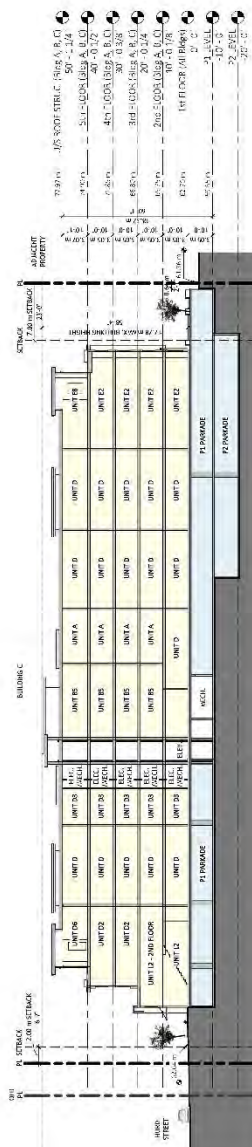
DP RE-SUBMISSION
2019-01-15, REVISION #1
2019-01-15, REVISION #2
2019-01-15, REVISION #3
PROJECT NUMBER: 19-176

SD1.12

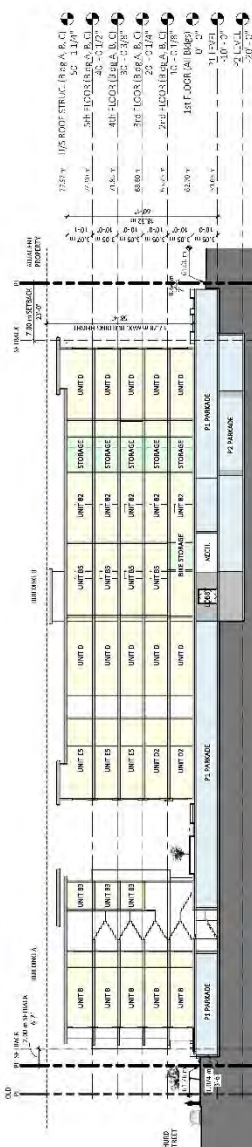
HURD STREET - MIXED USE



SITE SECTION A
1" = 20'-0"



SITE SECTION B
1" = 20'-0"



SITE SECTION C
1" = 20'-0"



HURD STREET DEVELOPMENT
1433-1435 HURD STREET, SACRAMENTO, CA
KEYSTONE RESEARCH, INC.

SITE SECTIONS
SCALE: 1" = 20'-0"

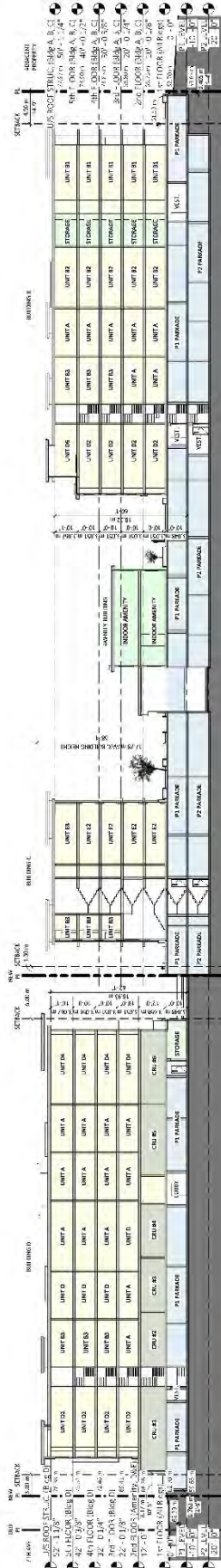
DP RE-SUBMISSION
DATE: 11/14/2019
DRAWN BY: VICKI HILL, H2022-213
PROJECT NUMBER: 18-128

SD1.1.20

HURD STREET - MIXED USE

OCCUPANCIES

- GROUP A2 - AMENITY
- GROUP C - RESIDENTIAL
- GROUP F - COMMERCIAL
- GROUP F3 - PARKING



1" = 20' 0"



REVOLUTION ARCHITECTS

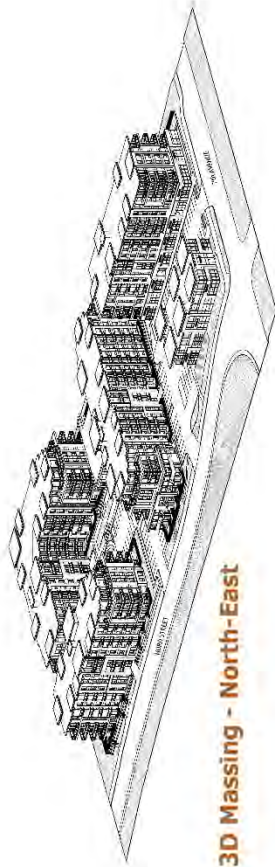
HURD STREET DEVELOPMENT
533 HURD STREET, SUITE 400
CHICAGO, IL 60610

SITE SECTIONS
PART 1 - 2 OF 6

DP RE-SUBMISSION
25.05.2020 - REVISED
PROJECT NUMBER: 19-176

SD1.21

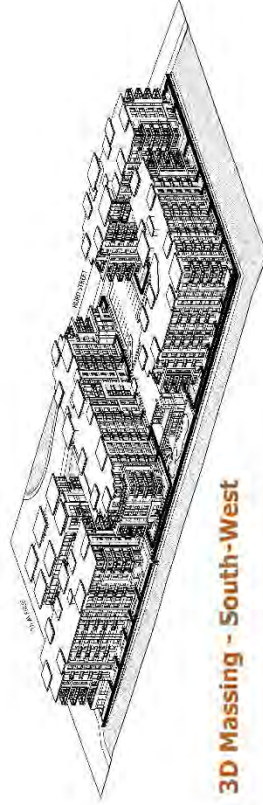
HURD STREET - MIXED USE



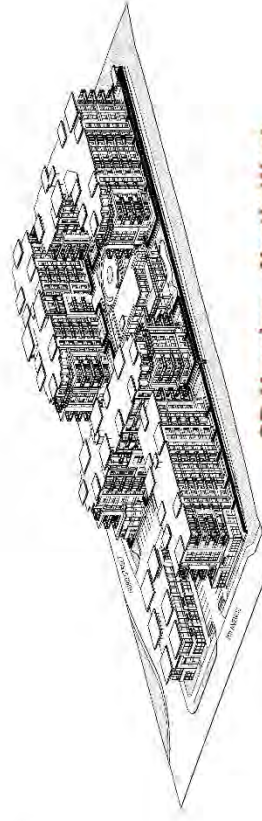
3D Massing - North-East



3D Massing - South-East



3D Massing - South-West



3D Massing - North-West



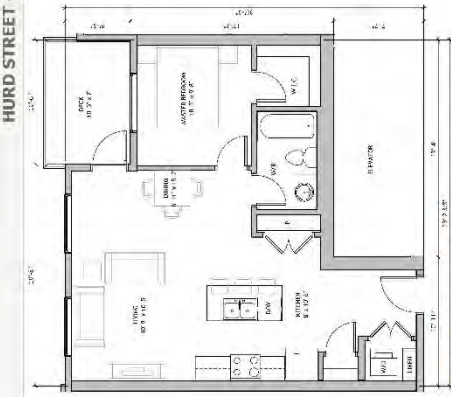
HURD STREET DEVELOPMENT
100 HURD STREET, SUITE 100
CHICAGO, IL 60611

3D MASSING PERSPECTIVES
01/19

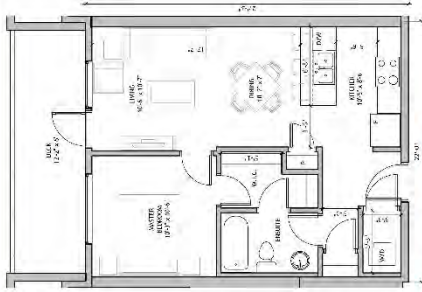
DP RE-SUBMISSION
PROJECT NUMBER: 19-176
SUBMITTER: HURD STREET DEVELOPMENT

SD1.33

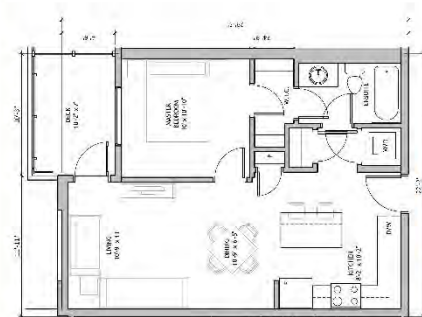
HURD STREET - MIXED USE



Unit A2 - 1-Bed
686 S.F. (47)
BLDG A: 5 UNITS
BLDG B: 5 UNITS



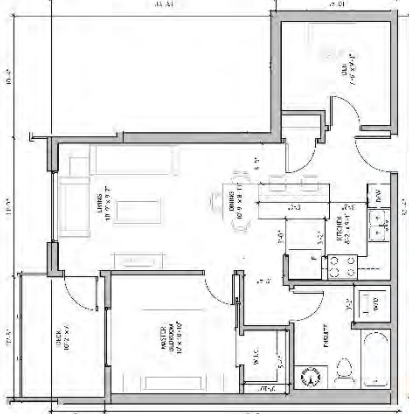
Unit A1 - 1-Bed
600 S.F. (47)
BLDG A: 4 UNITS
BLDG D: 13 UNITS



Unit A3 - 1-Bed
588 S.F. (47)
BLDG A: 5 UNITS
BLDG C: 5 UNITS
BLDG D: 13 UNITS



Unit B1 - 1-Bed + Den
661 S.F. (47)
BLDG B: 10 UNITS



Unit B - 1-Bed + Den
700 S.F. (47)
BLDG C: 5 UNITS



Unit A - 1-Bed
600 S.F. (47)
BLDG C: 5 UNITS

HURD STREET DEVELOPMENT
SAL CORP/SHRILY P/SHRILY LLC

UNIT PLANS
SCALE: 1/4" = 1'-0"

DP RE-SUBMISSION
SUBMITTAL NUMBER: 19-0003-LE1
PROJECT NUMBER: 18-236

SD2.01



HURD STREET - MIXED USE

Unit B2 - 1-Bed+Den
883 S.F. (+/-)
BLDG 3 UNITS
BLDG 3 UNITS

Unit B3 - 1-Bed+Den
804 S.F. (+/-)
BLDG 3 UNITS
BLDG 3 UNITS

Unit B4 - 1-Bed+Den
803 S.F. (+/-)
BLDG 3 UNITS
BLDG 3 UNITS

Unit C - Jr. 2-Bed
761 S.F. (+/-)
BLDG 3 UNITS
BLDG 3 UNITS

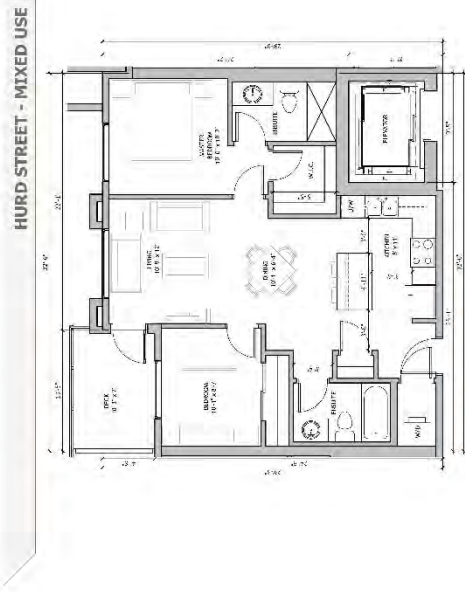
Unit C2 - Jr. 2-Bed
832 S.F. (+/-)
BLDG 3 UNITS
BLDG 3 UNITS

HURD STREET DEVELOPMENT
DAVID GREEN DESIGN, LLC

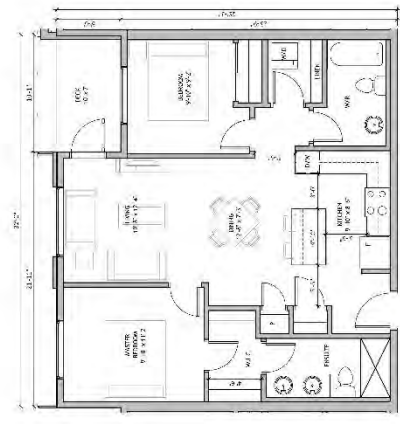
UNIT PLANS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
DATE: 08/01/2019
PROJECT NUMBER: 19-176

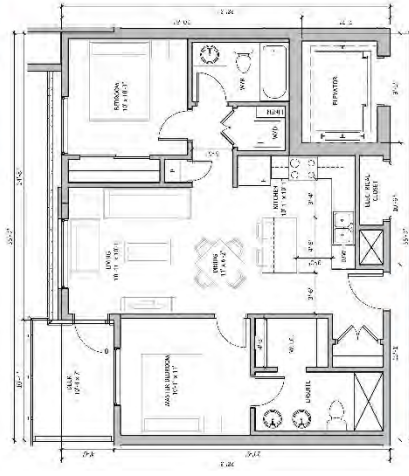
SD2.02



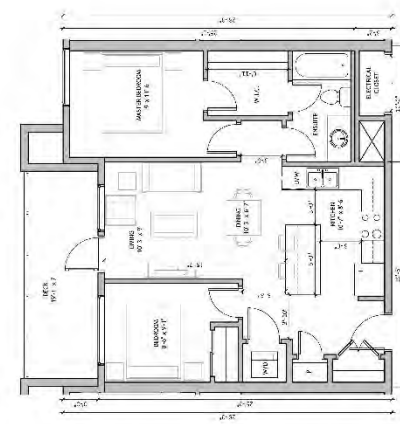
Unit D1 - 2-Bed
811 SF (4-2)
BLOCK A UNITS



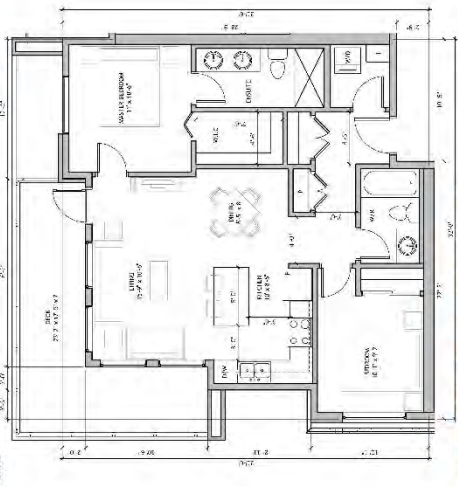
Unit D - 2-Bed (Standard)
856 SF (4-2)
BLOCK B UNITS
BLOCK C 20 UNITS
BLOCK D 14 UNITS



Unit D3 - 2-Bed
888 SF (4-2)
BLOCK C UNITS



Unit C4 - Jr. 2-Bed
720 SF (4-2)
BLOCK E UNITS



Unit D2 - 2-Bed (corner)
895 SF (4-2)
BLOCK A UNITS
BLOCK B UNITS
BLOCK D UNITS

HURD STREET - MIXED USE

 <p>HURD STREET DEVELOPMENT 1000 W. HURD STREET, SUITE 100 CHICAGO, IL 60642</p>	<p>UNIT PLANS SCALE: 1/8" = 1'-0"</p>	<p>DP RE-SUBMISSION ZONING: RM-4.5-2 DISTRICT: BLOSSOMVILLE PROJECT NUMBER: 19-176</p>	<p>SD2.03</p>
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SD2.04

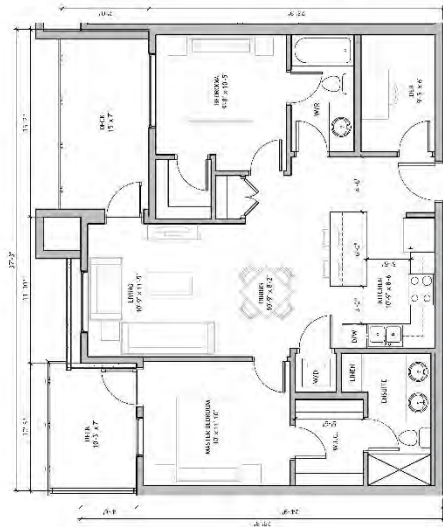
DP RE-SUBMISSION
 2019-01-14
 DISTRICT OF VASA ON U.L. #P2018143
 PROJECT NUMBER: 181216

UNIT PLANS
 2019-01-14-2019

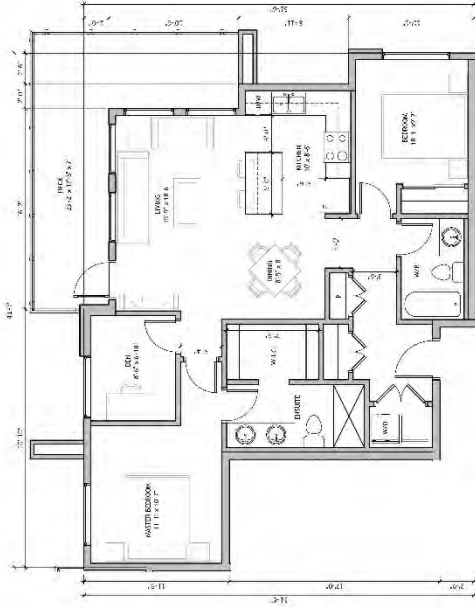
HURD STREET DEVELOPMENT
 10111 W. HURD STREET, SUITE 100
 FORT COLLINS, CO 80526



HURD STREET - MIXED USE



Unit E3 - 2-Bed+Den
1,000 S.F. (+/-)
BLOC C-4 UNITS



Unit E5 - 2-Bed+Den (corner)
1,000 S.F. (+/-)
BLOC B-3 UNITS



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HURD STREET DEVELOPMENT
2230 103.5 (L)1, VASSON LLC

UNIT PLANS
SCALE: 1/4" = 1'-0"

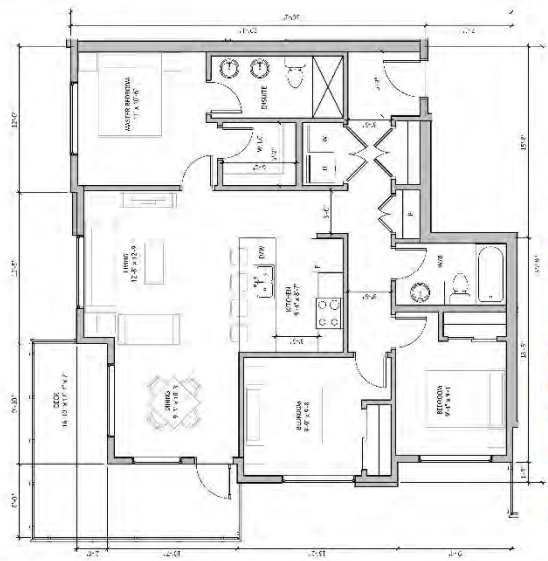
DP RE-SUBMISSION
2230 103.5 (L)1, VASSON LLC
SUBJECT TO VASSON LLC AP-2019 LEB
SUBJECT NUMBERS: 103.5P

SD2.05

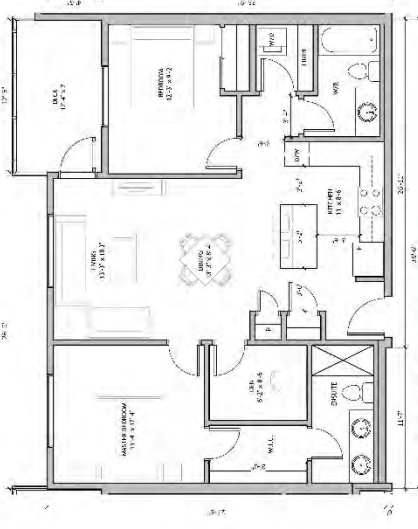
HURD STREET - MIXED USE



Unit E7 - 2-Bed + Den
1,024 S.F. (+/-)
BLDG. B UNITS



Unit F - 3-Bed (corner)
1,100 S.F. (+/-)
BLDG. B UNITS



Unit E8 - 2-Bed + Den
1,260 S.F. (+/-)
BLDG. C UNITS



HURD STREET DEVELOPMENT
7510 HURD STREET, SUITE 100, CHICAGO, IL 60632

UNIT PLANS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
2019-02-22, SUBMISSION # 190225-181
PROJECT NUMBER: 190225-181

SD2.06

HURD STREET - MIXED USE



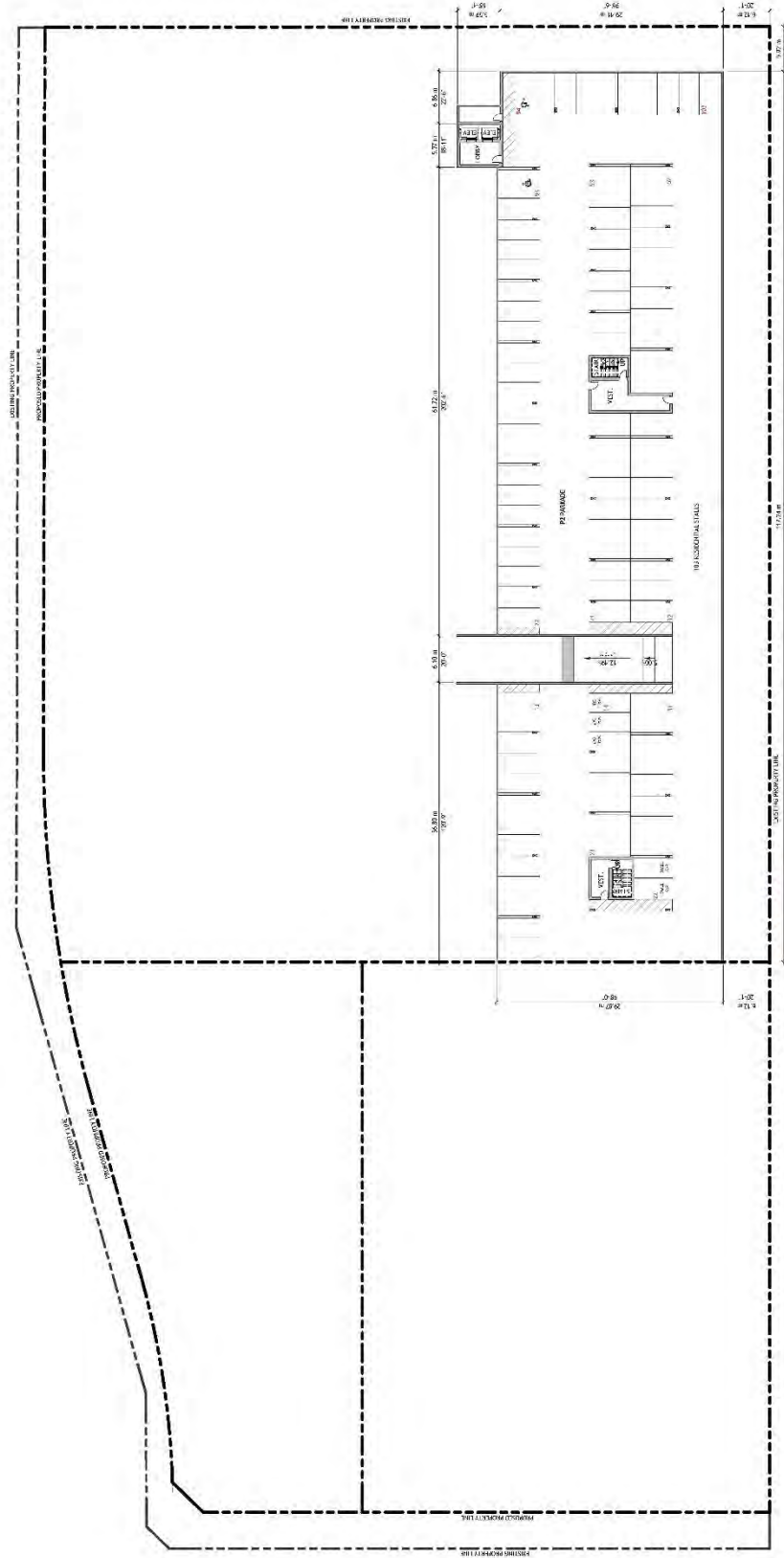
HURD STREET DEVELOPMENT
7233 HURD STREET, W. SICKEN, ILL.

UNIT PLANS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
2304 02 - REVISION 4
REVISED IN ACCORDANCE WITH APPROVAL
FOR COMMENTS 02/15/22

SD2.07

HURD STREET - MIXED USE



P2 LEVEL
-010'



HURD STREET DEVELOPMENT
2514 W 100 STREET, ALHAMBRA, CA

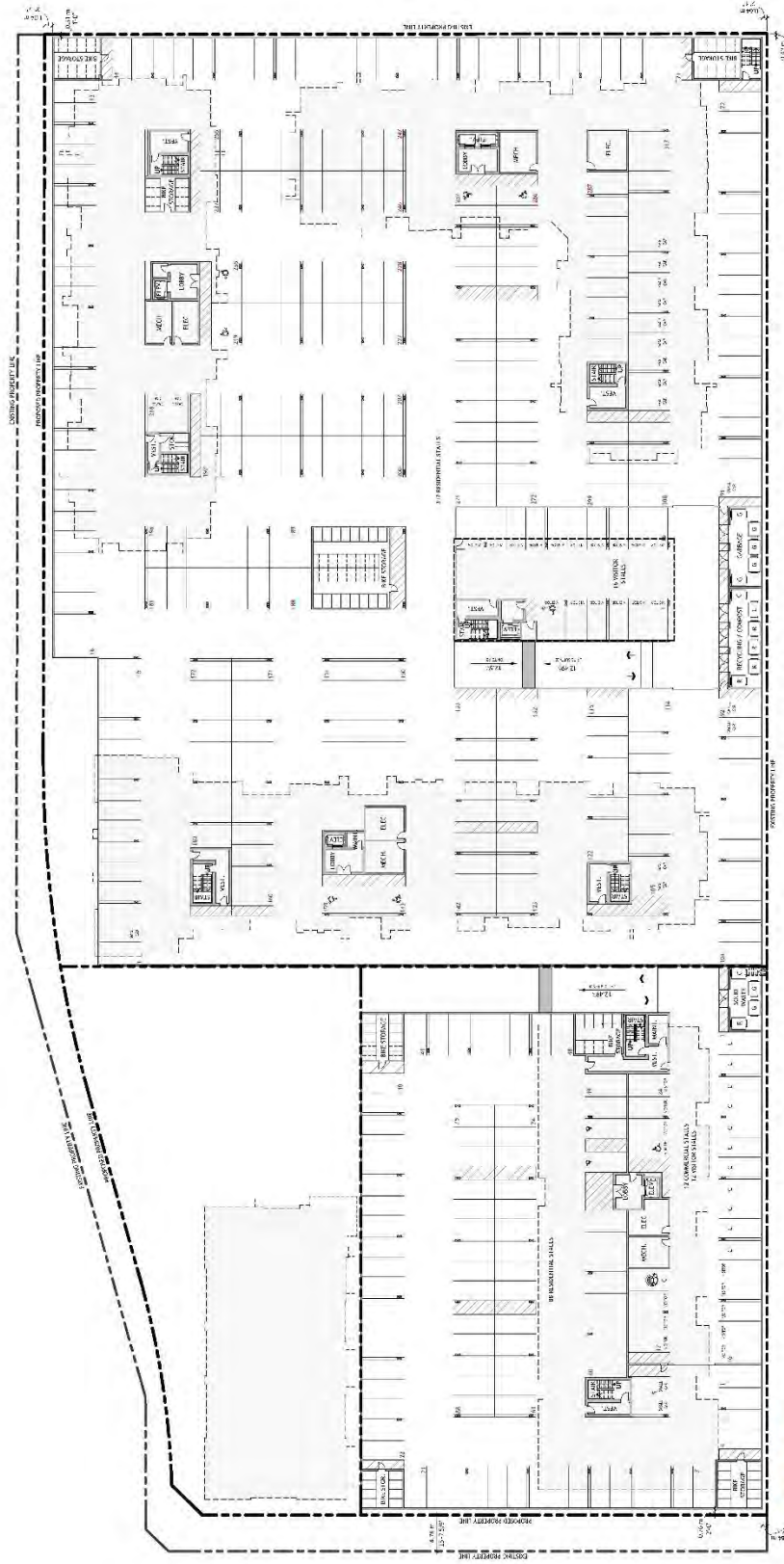
P2 LEVEL PLAN
06/11/2019 - 06/11/2019



DP RE-SUBMISSION
2019-02-20 PROVISIONAL
DISTRICT OF HURD STREET P2 SUB-012
PROJECT NUMBER: 19-126

SD3.01

HURD STREET - MIXED USE



P1 LEVEL
1/8" = 1'-0"



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HURD STREET DEVELOPMENT
745-10-3316 / 416-331-1100

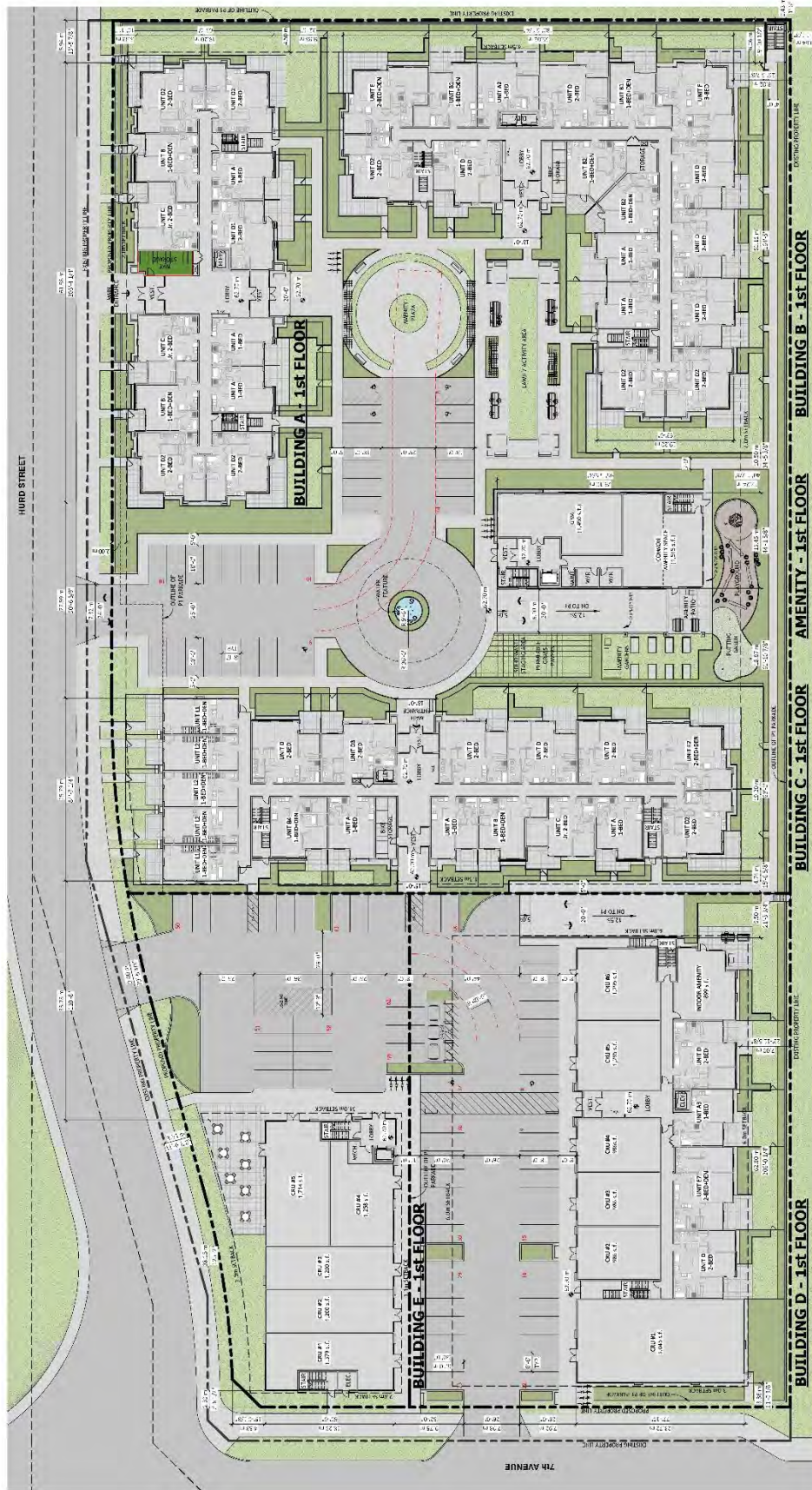
P1 LEVEL PLAN
SCALE: 1/8" = 1'-0"



DP RE-SUBMISSION
2019.09.14 - 14.09.2019
375 WEST BEAVER CREEK RD. #100
P.O. BOX 100000, WILSON, BC

SD3.02

HURD STREET - MIXED USE



SD3.03

DP RE-SUBMISSION
350.04.6 350.04.7
DP19-176-143
PROJECT NUMBER: 19-176

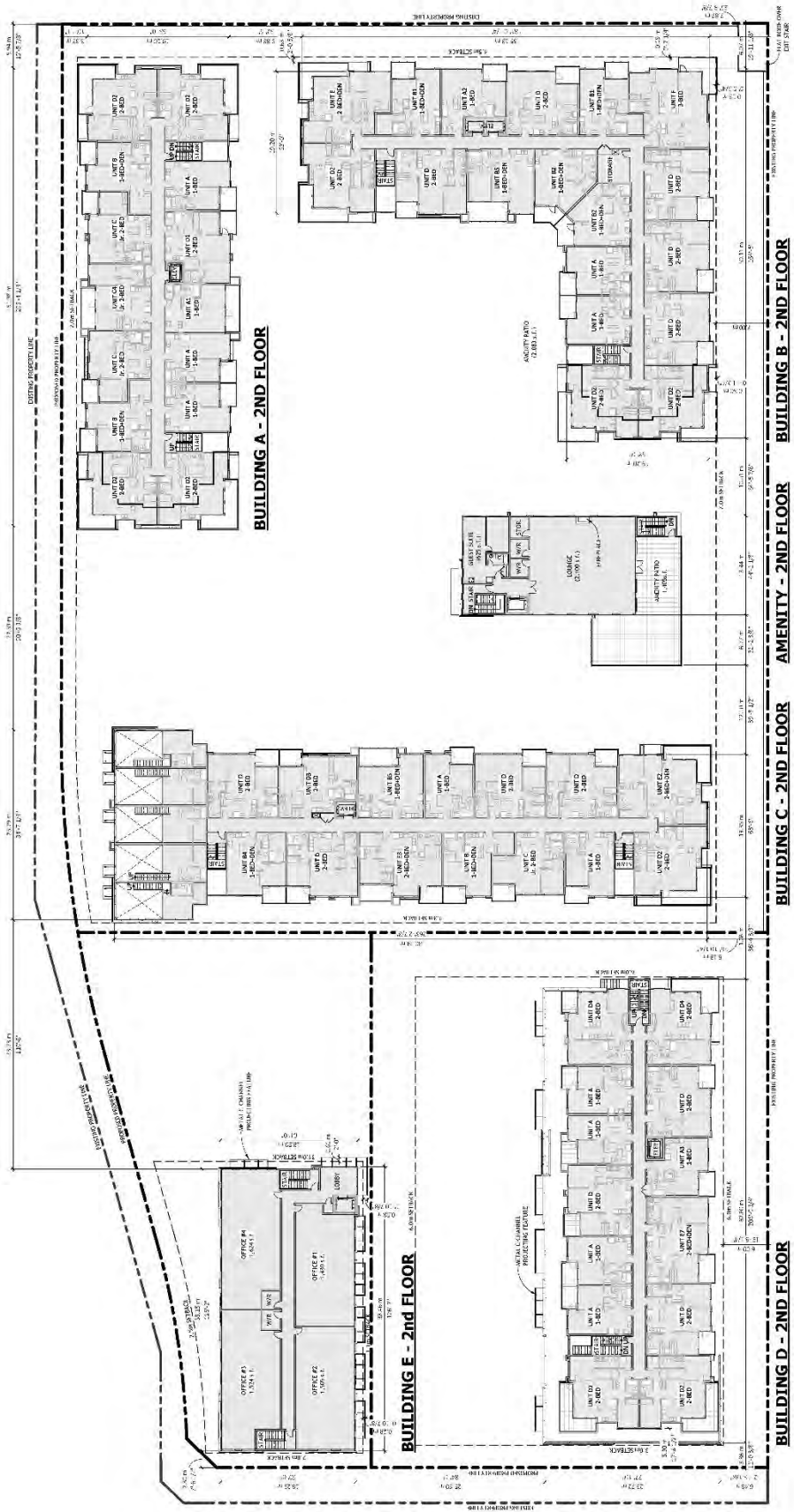


1st FLOOR PLANS
SCALE: 1/8"=1'-0"

HURD STREET DEVELOPMENT
75 - HURD STREET, LOS ANGELES, CA



HURD STREET - MIXED USE



SD3.04

DP RE-SUBMISSION
PROJECT NUMBER: 19-176



2nd FLOOR PLANS
SCALE: 1/8" = 1'-0"

HURD STREET DEVELOPMENT
7015 HURD STREET, MISSOURI, MO 63109



HURD STREET - MIXED USE



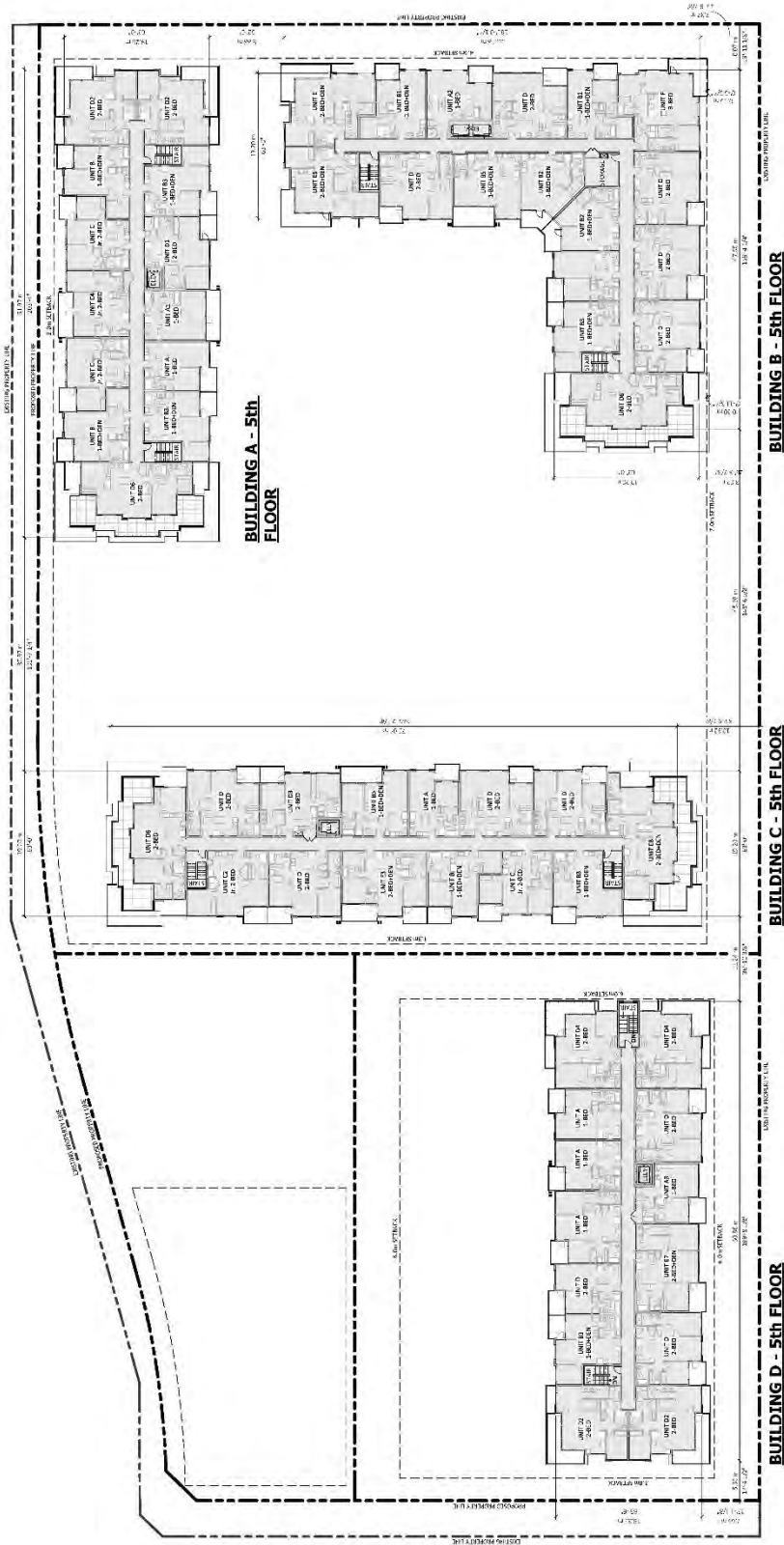
 <p>KEYSTONE ARCHITECTURE, INC. 15500 BURNETT AVENUE, SUITE 100 SAN DIEGO, CA 92128 TEL: 619-415-1000 WWW.KEYSTONEARCHITECTURE.COM</p>	<p>3rd FLOOR PLANS SCALE: 1/8"=1'-0"</p>	<p>DP RE-SUBMISSION PROJECT NO. 19-000004-01 PROJECT NO. 19-000004-01 PROJECT NUMBER: 19-126</p>	<p>SD3.05</p>
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HURD STREET - MIXED USE



<p>HURD STREET DEVELOPMENT BETH ANGELO ARCHITECT, P.C.</p>	<p>4th FLOOR PLANS DATE: 2-2019</p>	<p>DP RE-SUBMISSION PROJECT NUMBER: 181276</p>	<p>SD3.06</p>
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HURD STREET - MIXED USE



SD3-07

DP RE-SUBMISSION
FOR CLARIFICATION
SUBJECT TO APPROVAL BY THE CITY

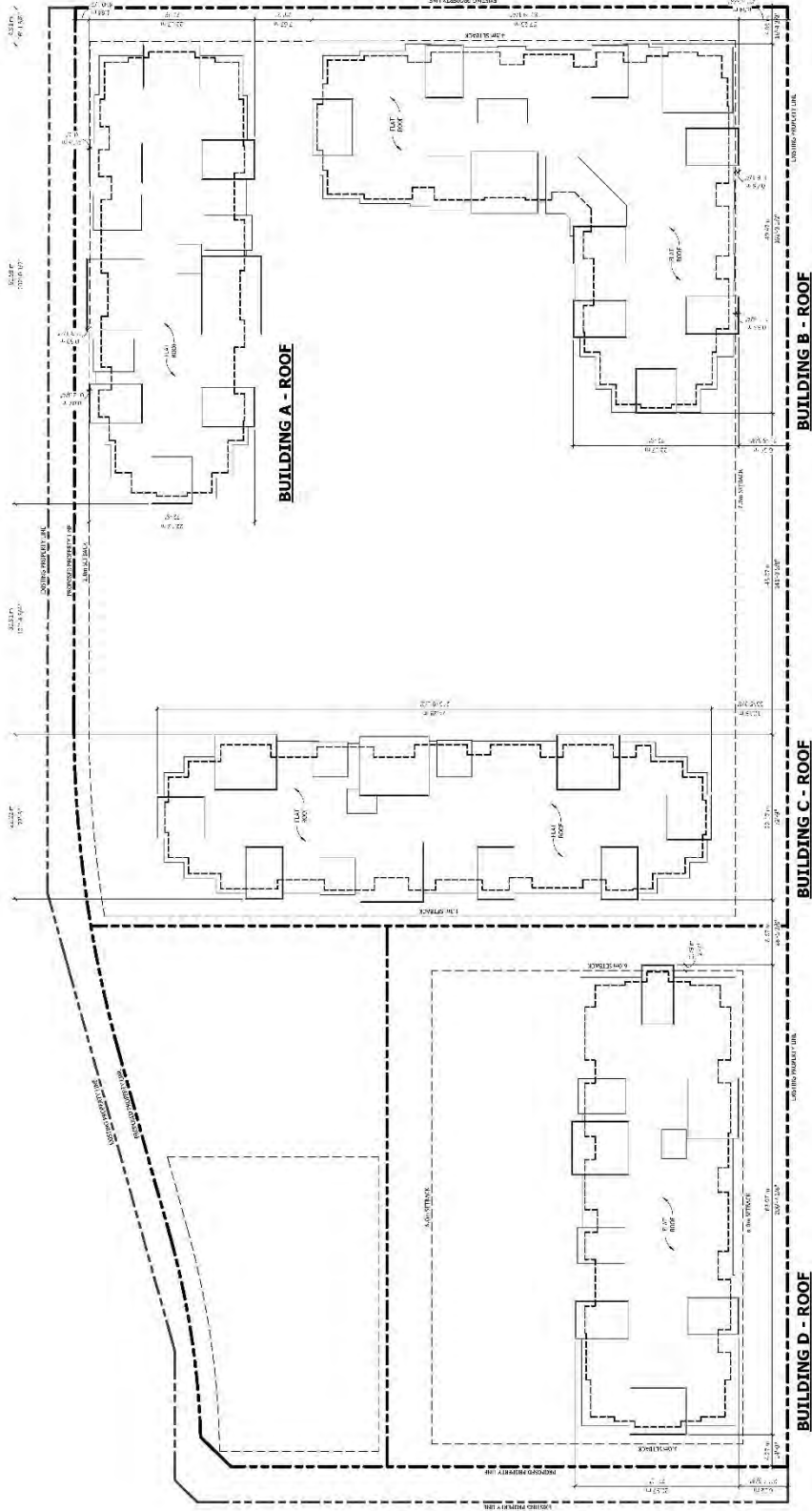


5th FLOOR PLANS
SCALE: 1" = 3/4"

HURD STREET DEVELOPMENT
713 HURD STREET, MISSION, CA



HURD STREET - MIXED USE



SD3.08

DP RE-SUBMISSION
2020.10 - REVISION 4
SUBJECT TO ANY OTHER REGULATORY REQUIREMENTS



ROOF PLANS
SCALE: 1:100

HURD STREET DEVELOPMENT
TEBACHOFFSE/MECON, S.C.



HURD STREET - MIXED USE



BUILDING A - EAST ELEVATION
1/8" = 1'-0"

material legend

1	CEMENT CONCRETE	24	BRICK
2	CONCRETE	25	WOOD
3	WOOD	26	GLASS
4	WOOD	27	GLASS
5	WOOD	28	GLASS
6	WOOD	29	GLASS
7	WOOD	30	GLASS
8	WOOD	31	GLASS
9	WOOD	32	GLASS
10	WOOD	33	GLASS
11	WOOD	34	GLASS
12	WOOD	35	GLASS
13	WOOD	36	GLASS
14	WOOD	37	GLASS
15	WOOD	38	GLASS
16	WOOD	39	GLASS
17	WOOD	40	GLASS
18	WOOD	41	GLASS
19	WOOD	42	GLASS
20	WOOD	43	GLASS
21	WOOD	44	GLASS
22	WOOD	45	GLASS
23	WOOD	46	GLASS



BUILDING A - SOUTH ELEVATION
1/8" = 1'-0"



HURD STREET DEVELOPMENT
7323 HURD STREET, MISSOURI, MO. 63112

BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
2019.02.15 REVISION P
SUBJECT: HURD STREET DEVELOPMENT
PROJECT NUMBER: DP19-176

SD4.01

HURD STREET - MIXED USE



BUILDING B - EAST ELEVATION
1/8" = 1'-0"



BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"

material legend

- 1) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 2) CONCRETE BLOCK (INTERIOR WALLS) - 12" X 16" X 8"
- 3) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 4) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 5) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 6) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 7) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 8) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 9) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 10) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 11) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 12) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 13) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 14) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 15) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 16) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 17) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 18) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 19) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 20) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 21) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 22) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 23) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 24) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 25) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 26) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"
- 27) CONCRETE BLOCK (EXTERIOR WALLS) - 12" X 16" X 8"

SD4.03

DP RE-SUBMISSION
2019.03.15 - REVISION #1
DISTRICT OF MISSOURI FILE #2019-043
PROJECT NUMBER: 19-176

BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

HURD STREET DEVELOPMENT
7503 HURD STREET, MISSOURI, MO



keystonearch.com

HURD STREET - MIXED USE



BUILDING B - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING B - WEST ELEVATION
SCALE: 1/8" = 1'-0"

material legend

1. CLAY TILE ROOFING
2. CONCRETE ROOFING
3. CLAY TILE ROOFING
4. CLAY TILE ROOFING
5. CLAY TILE ROOFING
6. CLAY TILE ROOFING
7. CLAY TILE ROOFING
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45. CLAY TILE ROOFING
46. CLAY TILE ROOFING
47. CLAY TILE ROOFING
48. CLAY TILE ROOFING
49. CLAY TILE ROOFING
50. CLAY TILE ROOFING



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HURD STREET DEVELOPMENT
755 HURD STREET, MISSISSAUGA, ONT. L4V 1R4

BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
DRAFT DEVELOPMENT PERMIT
DISTRICT OF MISSISSAUGA PROJECT #2019-2-3
PROJECT NUMBER: 19-232

SD4.04

HURD STREET - MIXED USE

material legend

1	CONCRETE	CONCRETE	CONCRETE
2	BRICK	BRICK	BRICK
3	WOOD	WOOD	WOOD
4	GLASS	GLASS	GLASS
5	STONE	STONE	STONE
6	ROOF	ROOF	ROOF
7	PAVING	PAVING	PAVING
8	LANDSCAPE	LANDSCAPE	LANDSCAPE
9	SCREENING	SCREENING	SCREENING
10	ROOF	ROOF	ROOF
11	ROOF	ROOF	ROOF
12	ROOF	ROOF	ROOF
13	ROOF	ROOF	ROOF
14	ROOF	ROOF	ROOF
15	ROOF	ROOF	ROOF
16	ROOF	ROOF	ROOF
17	ROOF	ROOF	ROOF
18	ROOF	ROOF	ROOF
19	ROOF	ROOF	ROOF
20	ROOF	ROOF	ROOF
21	ROOF	ROOF	ROOF
22	ROOF	ROOF	ROOF
23	ROOF	ROOF	ROOF
24	ROOF	ROOF	ROOF
25	ROOF	ROOF	ROOF
26	ROOF	ROOF	ROOF
27	ROOF	ROOF	ROOF
28	ROOF	ROOF	ROOF
29	ROOF	ROOF	ROOF
30	ROOF	ROOF	ROOF
31	ROOF	ROOF	ROOF
32	ROOF	ROOF	ROOF
33	ROOF	ROOF	ROOF
34	ROOF	ROOF	ROOF
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69	ROOF	ROOF	ROOF
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94	ROOF	ROOF	ROOF
95	ROOF	ROOF	ROOF
96	ROOF	ROOF	ROOF
97	ROOF	ROOF	ROOF
98	ROOF	ROOF	ROOF
99	ROOF	ROOF	ROOF
100	ROOF	ROOF	ROOF



BUILDING C - EAST ELEVATION
1/8" = 1'-0"



BUILDING C - SOUTH ELEVATION
1/8" = 1'-0"

 HURD STREET DEVELOPMENT 253 HURD STREET, MISSION, BC keystonesearch.ca	BUILDING ELEVATIONS SCALE: AS SHOWN	DP RE-SUBMISSION PROJECT FOR ASSOCIATE #20250148 PROJECT NUMBER: 25-228	SD4.05
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HURD STREET - MIXED USE



BUILDING C - NORTH ELEVATION

material legend

1	CONCRETE	1	CONCRETE
2	BRICK	2	BRICK
3	STONE	3	STONE
4	GLASS	4	GLASS
5	WOOD	5	WOOD
6	ALUMINUM	6	ALUMINUM
7	STEEL	7	STEEL
8	ASPHALT	8	ASPHALT
9	PAVING	9	PAVING
10	LANDSCAPE	10	LANDSCAPE
11	ROOFING	11	ROOFING
12	MECHANICAL	12	MECHANICAL
13	MECHANICAL	13	MECHANICAL
14	MECHANICAL	14	MECHANICAL
15	MECHANICAL	15	MECHANICAL
16	MECHANICAL	16	MECHANICAL
17	MECHANICAL	17	MECHANICAL
18	MECHANICAL	18	MECHANICAL
19	MECHANICAL	19	MECHANICAL
20	MECHANICAL	20	MECHANICAL
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27	MECHANICAL	27	MECHANICAL
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37	MECHANICAL	37	MECHANICAL
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49	MECHANICAL	49	MECHANICAL
50	MECHANICAL	50	MECHANICAL



BUILDING C - WEST ELEVATION



keyteamresearch.ca

HURD STREET DEVELOPMENT
P.L.L.C. (INCORPORATED IN BRITISH COLUMBIA)

BUILDING ELEVATIONS
SCALE: AS SHOWN

DP RE-SUBMISSION
2024.01.18 - REVISION # 4
DISTRICT OF MISSISSAUGA - 1150 JONES BLVD
PROJECT NUMBER: 24-001

SD4.06



BUILDING D - EAST ELEVATION
SCALE: 1/8" = 1'-0"

material legend

- 1. BRICK (COMMON)
- 2. BRICK (DUTCHMAN)
- 3. BRICK (FLAT)
- 4. BRICK (ROUND)
- 5. BRICK (SMOOTH)
- 6. BRICK (TERRAZZO)
- 7. BRICK (TRIPLEX)
- 8. BRICK (WALL)
- 9. BRICK (WIND)
- 10. BRICK (WOOD)
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BUILDING D - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



HURD STREET DEVELOPMENT
763 HURD STREET, MISSISSAUGA, ONTARIO, L4V 1R7

BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
SOURCE: DP19-176-0000-14
PROJECT NUMBER: 19-236

SD4.07

HURD STREET - MIXED USE



BUILDING D - NORTH ELEVATION

1/8" = 1' 0"

material legend

- 1. 1/2" x 4" x 8" SIPS
- 2. 1/2" x 4" x 8" SIPS
- 3. 1/2" x 4" x 8" SIPS
- 4. 1/2" x 4" x 8" SIPS
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- 100. 1/2" x 4" x 8" SIPS



BUILDING D - WEST ELEVATION

1/8" = 1' 0"

SD4.08

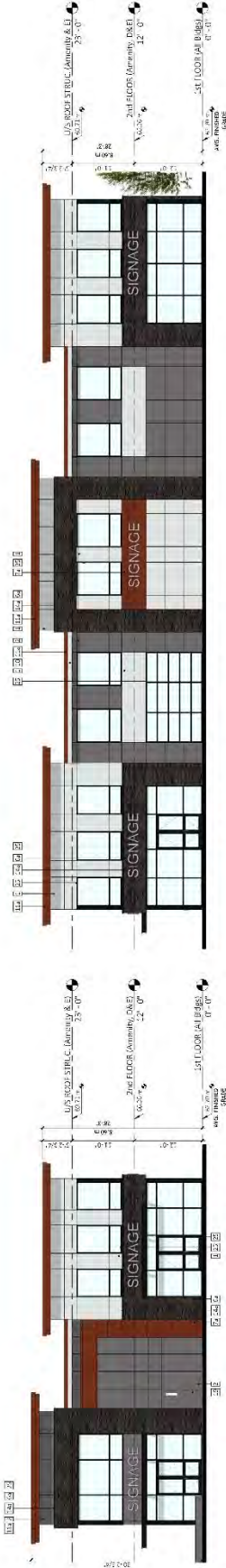
DP RE-SUBMISSION
2019-01 REVISED PER
DISTRICT OF MISSISSAUGA
PROJECT NUMBER: 2019-01

BUILDING ELEVATIONS
SCALE: 1/8" = 1' 0"

HURD STREET DEVELOPMENT
7315 HURD STREET, MISSISSAUGA, ON



HURD STREET - MIXED USE



BUILDING E - SOUTH ELEVATION
1/8" = 1'-0"

BUILDING E - EAST ELEVATION
1/8" = 1'-0"

BUILDING E - WEST ELEVATION
1/8" = 1'-0"

BUILDING E - NORTH ELEVATION
1/8" = 1'-0"

material legend

1. CORNERS: BRASS PLATE WITH ENGRAVED LOGO
2. CHAIRS: BRASS PLATE WITH ENGRAVED LOGO
3. COMB: BRASS PLATE WITH ENGRAVED LOGO
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keyatnresearch

HURD STREET DEVELOPMENT
7519 HURD STREET, MISSION, BC

BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
VERSION #2
PROJECT NUMBER: 19-24

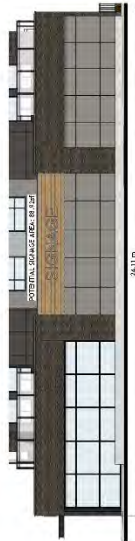
SD4.09

HURD STREET - MIXED USE



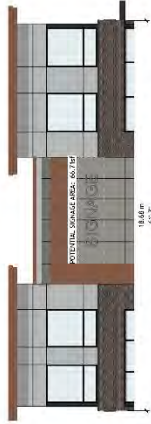
BUILDING D FASCIA SIGNAGE EAST

1/8" = 1'-0"



BUILDING D FASCIA SIGNAGE NORTH

1/8" = 1'-0"



BUILDING E FASCIA SIGNAGE NORTH

1/8" = 1'-0"



BUILDING E FASCIA SIGNAGE SOUTH

1/8" = 1'-0"



BUILDING E FASCIA SIGNAGE EAST

1/8" = 1'-0"



BUILDING E FASCIA SIGNAGE WEST

1/8" = 1'-0"



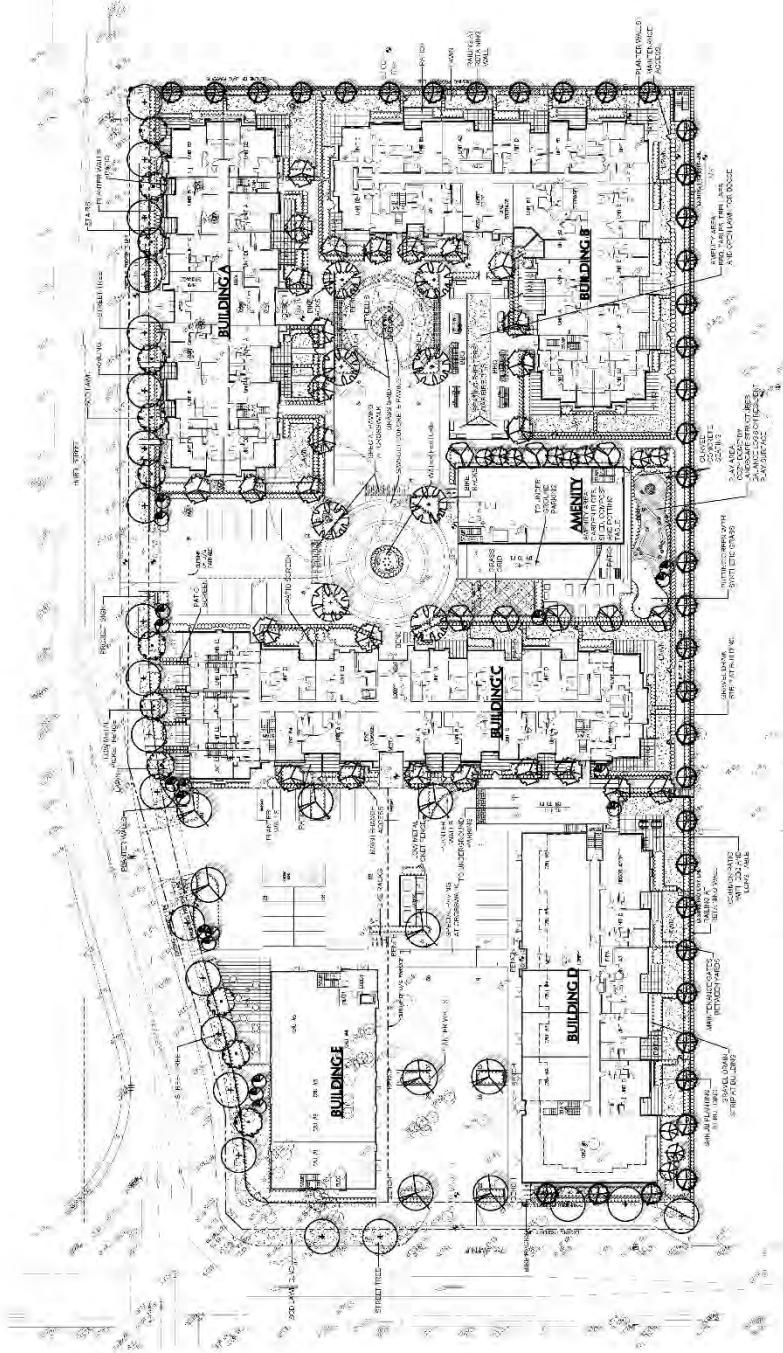
keystoneresearch.ca

HURD STREET DEVELOPMENT
7513 HURD STREET, MISSISSAUGA, ON

SIGNAGE
SCALE: 1/8" = 1'-0"

DP RE-SUBMISSION
2024.02 REGION 4
DISTRICT OF MISSISSAUGA FILE # P4611 243
PROJECT NUMBER: 34126

SD4.14



PLANT SCHEDULE

SYMBOL	DESCRIPTION	COMMON NAME	PLANT NUMBER: K-500
1	12" DBH
2	12" DBH
3	12" DBH
4	12" DBH
5	12" DBH
6	12" DBH
7	12" DBH
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50	12" DBH



DATE: 05/04/20
 SCALE: 1"=20'-0"
 DRAWN: [Name]
 REVISION: [Name]
 CHECKED: [Name]
 DESIGNED: [Name]
 PROJECT: [Name]
 DRAWING NUMBER: [Name]
 SHEET: [Name]

LANDSCAPE PLAN

L1

OF 3
19-150

MIXED USE DEVELOPMENT
 7513 HURD STREET
 MISSION, BC

DATE	BY	APP'D

pmg
 LANDSCAPE ARCHITECTS
 11500 150th Street, Suite 300
 Surrey, British Columbia, V3V 2G8
 P: 604.581.1111 | Q: 604.581.1122

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