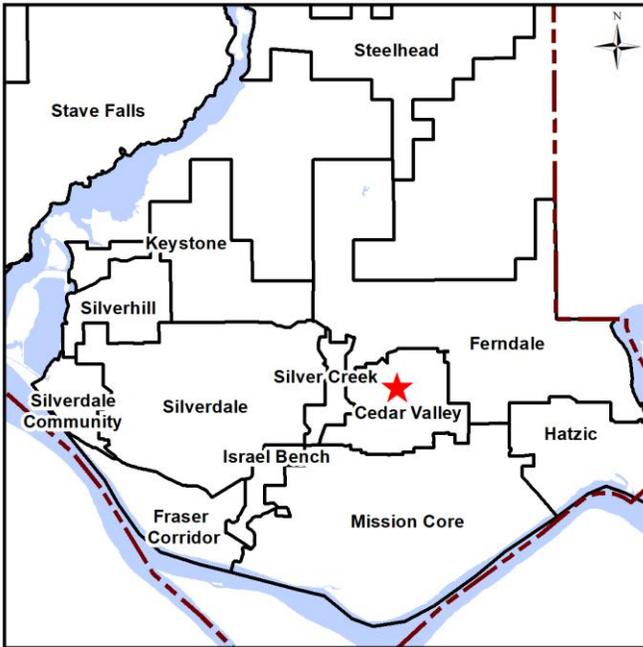
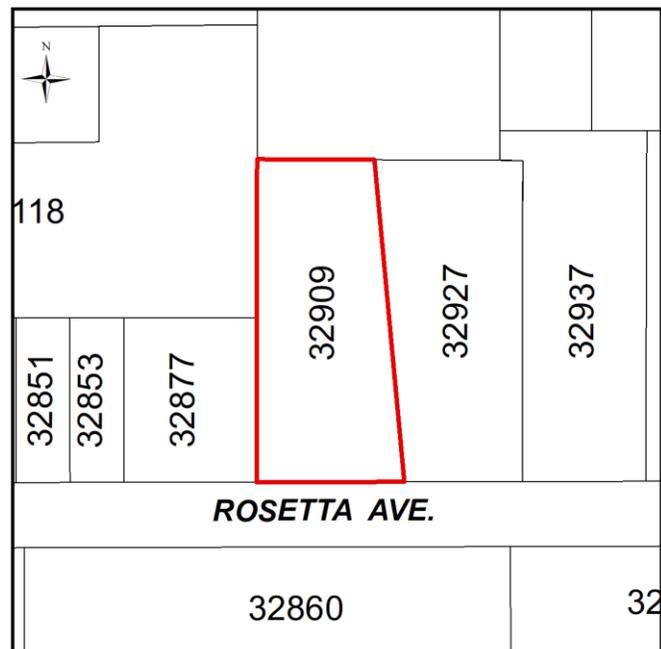
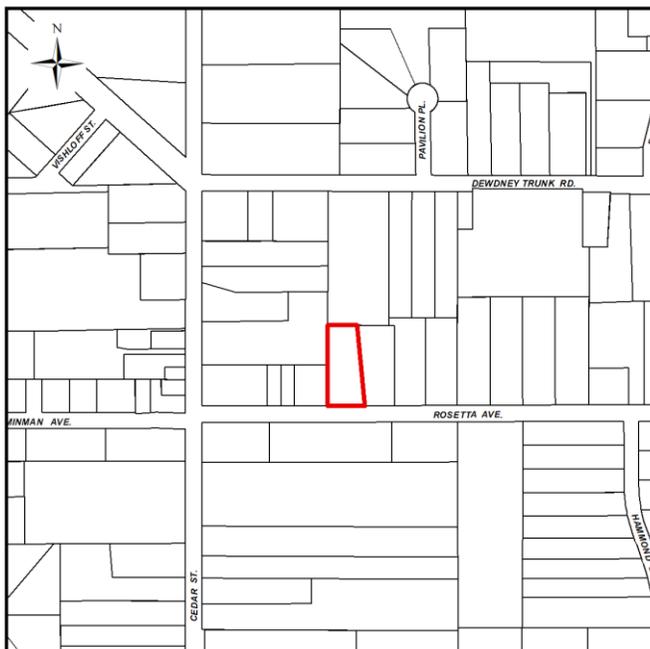


Project: P2023-050
 Application Numbers: OCP23-004 R23-014

Subject: Development Application – 32909 Rosetta Avenue – OCP and Rezoning Amendments



DATE: March 3, 2025
BYLAW / PERMIT #: 6321-2024-5670(52) (OCP)
 6322-2024-5949(173) (Zoning)
PROPERTY ADDRESS: 32909 Rosetta Avenue
LOCATION: Cedar Valley
CURRENT ZONING: Suburban 20 Zone (S20)
PROPOSED ZONING: Multi-unit Townhouse One Zone (MT1) and Institutional Parks, Recreation and Civic Zone (IPRC)
CURRENT OCP: Attached Multi-unit Residential, Urban Residential, and Protected Natural Assets
PROPOSED OCP: Attached Multi-unit Residential and Protected Natural Assets
PROPOSAL: To amend the OCP and rezone the property to facilitate a 15-unit townhouse development.



Recommendation(s)

1. That OCP Bylaw 6321-2024-5670(52) receive second reading;
2. That OCP Bylaw 6321-2024-5670(52) is considered in conjunction with the City's Financial Plan and Waste Management Plan;
3. That draft bylaw 6322-2024-5949(173) to rezone 32909 Rosetta Avenue from Suburban 20 Zone (S20) to Multi-unit Townhouse One Zone (MT1) and Institutional Parks, Recreation and Civic Zone (IPRC) be considered for first and second reading;
4. That, subject to the OCP Bylaw receiving second reading, and the Rezoning Bylaw receiving first and second reading, a Public Hearing be scheduled on a date to be determined;
5. That prior to the adoption of Zoning Amending Bylaw 6322-2024-5949(173), the following conditions be met to the satisfaction of the Director of Development Services:
 - a. Substantial completion of the engineering requirements as detailed in **Attachment A**.
 - b. Collection of any volunteered contributions to the City's community amenity reserve.
 - c. Collection of financial contribution for the loss of land designated as Protect Natural Assets (PNA).
 - d. Dedication to the City of the land remaining designated as PNA.
 - e. Construction of the pedestrian trail and restoration of the land, or compensation in-lieu of, as per the Landscaping Plan included in **Attachment B**.
 - f. Completion of any other requirements resulting from Council's consideration of the Bylaw, including Public Hearing; and
6. That Development Permit DP23-049 be approved at the same time Zoning Amending Bylaw 6322-2024-5949(173) is approved.

Rationale of Recommendation(s)

- The application proposes to reduce the area designated as PNA on the site to allow for more residential units. The applicant has supplied a bio-inventory report to support his request to reduce the PNA. The report provides an overview of the ecology of the site and examines the potential presence of environmentally valuable resources and species-at-risk. It states that the areas proposed for redesignation are currently being used as the residents' backyard lawn and are of low ecological value. No development is proposed within sensitive streamside protection and enhancement areas (SPEAs). Additionally, the applicant has proposed habitat restoration in the areas remaining as PNA.
- OCP policy 4.3.2 states that:

"If a reduction of natural assets is proposed on the development site then a compensation shall be provided by either:

 - a. *Dedication of land on the development site to the District at a ratio of 2:1 that's acceptable to the District; or*
 - b. *A contribution in accordance with the District's Community Amenity Contribution Policy."*

As the developer is unable to dedicate further land on the site to the City, they are offering a cash contribution of \$108,000. Their compensation letter is included as **Attachment C**.

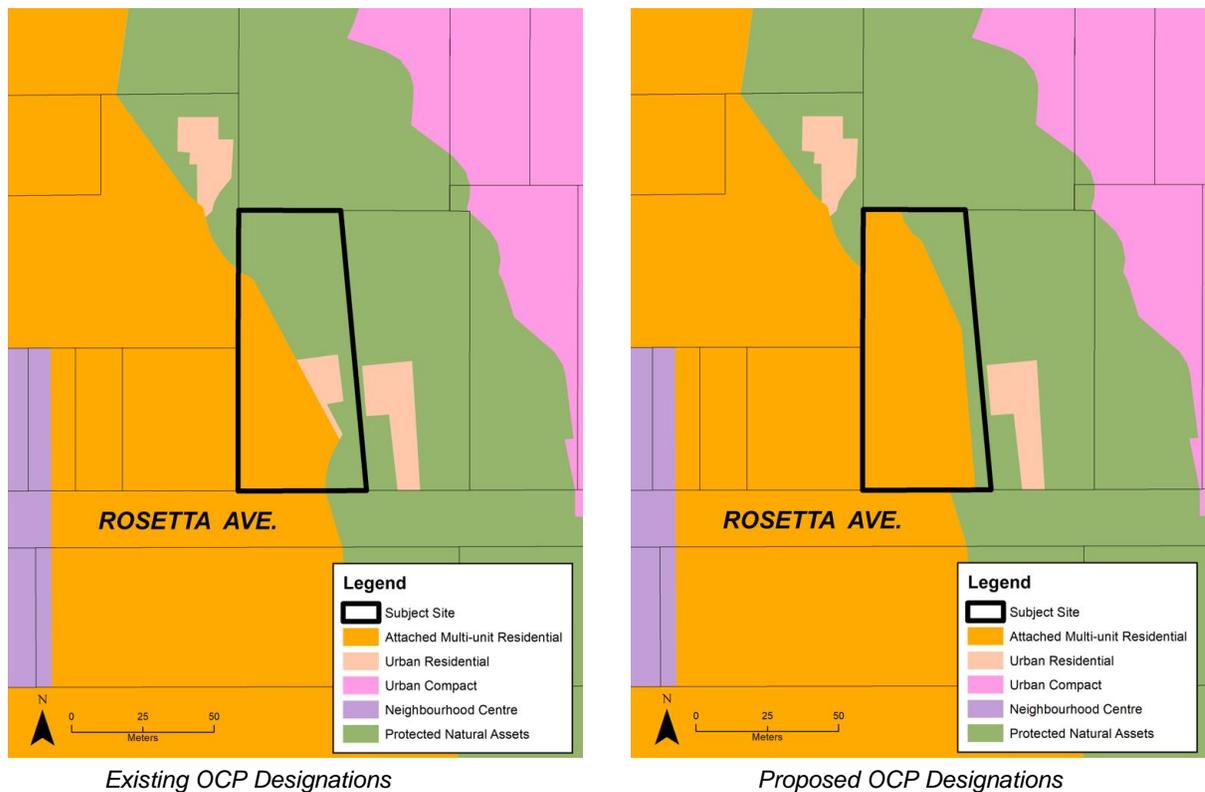
The land that remains designated as PNA will be dedicated to the City and will be rezoned to the IPRC Zone to strengthen its environmental protection. The developer has also offered to construct a walking trail through the PNA area as per the Cedar Valley Engineering Plan (CVEP).

- The location of the proposed townhomes is consistent with OCP policy 8.1.34 which states “provide the majority of attached multi-unit residential development near neighbourhood centres”. The proposal is within 100 m of an area designated as Neighbourhood Centre at the corner of Rosetta Avenue and Cedar Street.
- The Cedar Valley Local Area Plan (CVLAP) sets forth guidelines for creating a complete community within the Cedar Valley Neighbourhood. This application furthers the goals listed in the plan by “locating the highest residential densities within close proximity to Neighbourhood Centres” and by helping to “build a community where there is sufficient housing to sustain local schools, businesses, and religious institutions”.

Purpose

The purpose of this report is to recommend second reading to OCP Amending Bylaw 6321-2024-5670(52) and first and second readings to Zoning Amending Bylaw 6322-2024-5949(173). These amendments are to accommodate a proposed 15-unit townhouse development.

The amendments to change portions of the property’s OCP designations from Urban Residential and PNA to Attached Multi-unit Residential will allow for a larger multi-family development on the property than was previously permitted. The existing Urban Residential designation will be removed and the existing PNA designation will be reduced in favor of more land designated as Attached Multi-unit Residential. The maps below illustrate the proposed change.



The OCP bylaw map is included as **Attachment D**.

The zoning amendments propose to rezone the areas designated as Attached Multi-unit Residential to the MT1 Zone to permit construction of townhomes. The remaining area designated as PNA will be rezoned to the IPRC Zone to delineate its undevelopable and protected status. The zoning bylaw map is included as **Attachment E**.

Site Characteristics and Context

Applicant

- Signature Development Consulting

Property Size

- 32909 Rosetta Avenue is approximately 4,000 sq m (1.0 ac) in size.
- The property is currently developed with a single-family dwelling and an accessory building. It is relatively flat.

Neighbourhood Character

- The property is located in the Cedar Valley neighbourhood. The neighbouring properties to the west and south are designated as Attached Multi-unit Residential. The lands immediately to the east and the north are designated PNA and contain a watercourse. An area designated as Neighbourhood Centre is located near the intersection of Cedar Street and Rosetta Avenue.

Environmental Protection

- Development Permit Areas (DPA) E1 and E2 are applicable to the site. The applicant will be required to provide an approved riparian area protection regulation (RAPR) assessment. Both DPs have been delegated to staff for approval.
- The developer has agreed to replant and restore the remaining PNA areas with native vegetation. Currently, much of this PNA area is used as backyard lawn for the existing residences.

Parks and Trails

- As per the CVEP, the developer has proposed to construct a pedestrian trail within the remaining PNA lands that follow the eastern edge of the site.

Servicing

- Development of this area will require servicing, as outlined under "Referrals".

Referrals

Engineering Department:

The Engineering Department strongly advises that any approved variances align with the CVLAP and CVEP to ensure long-term ecological resilience. They have outlined servicing requirements to be completed prior to adoption in **Attachment A**.

Building Division:

No concerns, provided that the project conforms to all bylaw and regulatory requirements.

Environmental Services: The Environmental Services Department has stated that they are apprehensive due to the proposed permanent loss of greenspace. If the compensation is accepted, they recommend the cash contribution be reserved for the purchase of properties of significant environmental value.

Finance Department: The Finance Department expects any potential servicing deficiencies resulting from the amendments to be identified and addressed by the proponent at their cost.

Mission Fire Rescue Service: No concerns, provided that the project conforms to all bylaw and regulatory requirements.

School District 75: The School District would like to see safe walking routes provided for pedestrians in the area. In particular, the area along Cedar Street between Rosetta Avenue and Tunbridge Avenue was identified as an area of concern due to a lack of sidewalk and/or dedicated walking route.

BC Transit: No concerns.

Development Considerations

Development Permit

- DP23-049 – Multi-unit Residential Development Permit
- The site is located within the DP Area B: Multi-Unit Residential Development Permit Area. The intent of the Area B Development Permit Guidelines is to ensure a higher standard of building design, housing alternatives, site compatibility, and site aesthetics that are consistent with a vibrant residential neighbourhood. Draft development permit DP23-049 is included as **Attachment B**.
- The following table provides a summary of the design guidelines and identifies how the development proposal is meeting them. These design aspects are performance-based and do not include the requirements stipulated by the Zoning Bylaw which are more prescriptive in nature.

Development Permit Design Guidelines

Multi-Unit Residential Design Guidelines	Meets Guidelines	Does Not Meet Guidelines
Orient building frontages and main entrances to the dominant street frontage, with well-defined entries and with walkways and bicycle access to the street.	X	
Design buildings with varied facades and articulated rooflines, or design in a contemporary style that offers visual interest to discourage large bland buildings that do not reflect the character or scale of Mission.	X	
Design buildings with architectural interest using design features such as varying rooflines, well defined entrances, and high-quality exterior elements.	X	
End units should be designed with additional architectural detail.	X	
Use durable and high-quality building materials, integrating natural materials such as local stone, brick, and wood, as well as low emissivity glass.	X	
Consider weather protection over entry points, balconies, and porches (e.g., roof overhead, or area inset below the floor above).	X	
Provide landscaping that creates visual interest and identity.	X	

Development Permit Design Guidelines

Multi-Unit Residential Design Guidelines	Meets Guidelines	Does Not Meet Guidelines
Consider appropriate safety and natural surveillance measures (such as substantial lighting, visual access, and sight lines) per CPTED principles.	X	
A clear, direct, and attractive pathway system, preferably with landscape treatment, is encouraged to connect the buildings with parking lots and sidewalks along fronting streets.	X	
Blend parking areas into the landscape, rather than having them dominate it, by distributing parking areas and separating them with landscaping, especially between parking areas of adjacent dwelling units.	X	
Townhouse developments are to provide an enclosed parking space for each dwelling unit, with access to additional shared spaces.	X	
Design with parking garages or carports facing away from the street as much as possible.	X	
Parking areas should be visually separated from streetscape views with landscape areas.	X	

- The townhomes are designed in a contemporary style that offers visual interest. The buildings feature varying rooflines, well-defined entry ways, and high-quality exterior elements, such as Hardie board siding and brick veneer finish. Extra architectural detail has been applied to end units.
- Landscaping is provided throughout the site to create a pleasing atmosphere and identity. Shrubbery is used to separate and screen visitor parking stalls from the sidewalks and roads. A pedestrian pathway connects the site to the trail network that passes through the PNA area. A common outdoor amenity area is provided to the north of the site.
- Adequate and bylaw compliant parking has been provided for the complex. Each unit contains two side-by-side parking stalls within a garage that faces away from the street. Visitor parking stalls are separated from roads and sidewalks with landscaping.

Variances

The developer has requested three variances to building setbacks and one variance to parking areas in order to facilitate their design. Staff support the requested variances and have incorporated them into Development Permit DP23-049.

Section 704 MT1 Zone				
D.1 – Setbacks			Required	Proposed
1.	Front (south lot line)	Townhouse Block 'C'	6.0 m (19.7 ft)	4.0 m (13.1 ft)
2.	Interior side (east lot line)	Townhouse Block 'B' Townhouse Block 'C'	7.5 m (24.6 ft) 7.5 m (24.6 ft)	1.0 m (3.3 ft) 2.3 m (7.5 ft)
3.	Interior/exterior side (west lot line)	Townhouse Block 'A'	7.5 m (24.6 ft)	4.0 m (13.1 ft)

- *Reduce the front lot setback from the southern property line from 6 m (19.7 ft) to 4 m (13.1 ft) for Block 'C' (Zoning Bylaw Section 704.D.1)*

This request comes due to the spatial limitations of the site presented by the PNA areas. Additionally, a front lot setback reduction to 4 m (13.1 ft) is common when a garage is located at the back of the townhouse unit, away from the street. In this case, the garages are located on the side of the 'Block C' townhouse units but are still facing away from the adjacent street.

- *Reduce the interior side lot setback from the east property line from 7.5 m (24.6 ft) up to 1 m (3.3 ft) for Blocks 'B' and 'C' (Zoning Bylaw Section 704.D.1)*

This request is a result of the site's proximity to the PNA areas, which borders the site's eastern side and constrains the amount of developable area on the lot. There is no risk of overshadowing, privacy concerns, or conflicts with neighbours associated with this request due to it bordering the PNA area.

- *Reduce the interior side lot setback from the west property line from 7.5 m (24.6 ft) to 4 m (13.1 ft) for Block 'A' (Zoning Bylaw Section 704.D.1)*

The west property line will be an exterior lot line once the future road to the west of the property, Pearson Way, is constructed. Typically, a 4 m (13.1 ft) setback is permitted for front lot lines when garages are located at the back of the building. As the units in Block 'A' will be fronting a road in the future, the applicant is requesting this be treated like a front lot line and the 4 m (13.1 ft) setback be permitted. The garages are located at the back of the Block 'A' townhouse units, away from the street. Furthermore, it is only the townhome's balconies that extend to 4 m (13.1 ft). The building's face is setback at 6.6 m (21.6 ft).

I.3 – Parking Areas		Required	Proposed
1.	Parking stalls within required setbacks	Not Permitted	Permitted

- *Permit parking stalls within setbacks (Zoning Bylaw Section 704.I.3)*

The developer has located visitor parking stalls within the property's setbacks in order to maximize site efficiency and functionality while still providing the required number of parking stalls. The developer has agreed to place enhanced landscaping around these parking stalls, thereby screening and separating the parked vehicles from the sidewalk and street.

See **Attachment F** for a site plan showcasing the location of the proposed variances.

Community Amenity Contribution

The applicant has volunteered to contribute \$7,200 per new lot as per Policy LAN.40(C).

Cedar Valley Local Area Plan and Cedar Valley Engineering Plan

The property is located within the Cedar Valley neighbourhood and is subject to the CVLAP and CVEP. A future road, Pearson Way, is planned to be constructed adjacent to the property's west side on 32877 Rosetta Avenue and 9118 Cedar Street. The townhomes in Block 'A' will front the future Pearson Way.

The development will be temporarily accessed from Rosetta Avenue until Pearson Way is constructed. Once constructed, access will be from Pearson Way and the Rosetta Avenue access will be closed.

A planned pedestrian trail will be constructed to the east of the property in the PNA designated areas.

Transit

The proposed development is not within walking distance of a transit stop. Walking distance is generally considered to be 400 m or less.

Financial Implications

When an application is made to amend the OCP, Section 477 of the *Local Government Act* requires that Council consider the amendment in conjunction with the City's financial plan and waste management plan.

Changes to the current OCP designations could result in increased densities not previously considered, which could result in servicing deficiencies for other OCP compliant developments. From a finance perspective, it is expected that any potential deficiencies be identified and addressed by the proponent at their cost.

Communication

LAN.66 - Neighbourhood Engagement Policy

The developer held a neighbourhood engagement meeting on July 31, 2024, at the office of 4th Dimension Design + Drafting in downtown Mission. Three people attended the event. The questions asked mainly centered around the project's development timeline. No concerns were raised.

LAN.03 - Development Notification Requirements

Communication action, as listed below, is in accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*.

- The applicant has posted a development notification sign on the property.
- Public Hearing Notification will be sent to all occupiers and owners of properties within 152 m from the development site notifying them of the details.

Attachments

Attachment A:	Engineering Department Comments
Attachment B:	Draft Development Permit (DP23-049)
Attachment C:	Compensation Letter
Attachment D:	OCP Bylaw Map
Attachment E:	Zoning Bylaw Map
Attachment F:	Variance Plan

Sign-Offs



Rob Publow, Manager of Planning

JH / sh

Approved for Inclusion: Mike Younie, Chief Administrative Officer

ATTACHMENT A
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING AND DEVELOPMENT PERMIT COMMENTS**

DATE: January 29, 2025

CIVIC ADDRESS: 32909 Rosetta Avenue

CURRENT ZONE: SURBURBAN 20 (S20)

PROPOSED ZONE: MULTI-UNIT TOWNHOUSE 1 (MT1)

Disclaimer

The following comments are listed as deficiencies for the sole purpose of identifying required works and services to enable the subject property to Rezone to a Multi-Unit Townhome Zone and develop a residential townhouse development. The following works and services for this rezoning and development permit proposal are in accordance with the standards contained within the City of Mission's (City) Development and Subdivision Control Bylaw (DSCB) 5650-2017 as amended, Water Bylaw 2196-1990 as amended (Water Bylaw), Sewer Bylaw 5033-2009 as amended (Sewer Bylaw), Solid Waste Management Bylaw 5526-2015 as amended (SWMB), the Soil Removal Bylaw 3088-1997 as amended, the Fire Sprinkler Bylaw 5679-2017, the Cedar Valley Local Area Plan (CVLAP), the Cedar Valley Engineering Plan (CVEP) 5807-2018-5670, the Official Community Plan Bylaw 5670-2017 as amended (OCP) and the Development Cost Charges (DCC) Best Practices Guide. Additional requirements as specified by other stakeholder authorities are considered to be above and beyond the scope of these comments.

The City is in receipt of a referral package dated January 22, 2025, complete with a Conceptual Servicing Plan (CSP) dated December 20, 2024, ARCH Plans, and Landscape Drawings dated November 25, 2024.

DOMESTIC WATER REQUIREMENTS:

Municipal water is available on Cedar Street

Connection to the municipal system is required. The City does not guarantee fire-flow requirements. The Developer will prove the limitations of the existing system by whatever means deemed appropriate and shall ensure the development is adequately serviced at the Developer's sole expense.

City records indicate an existing 200mmØ ductile iron pipe adjacent to the site.

As a condition of Development, the following will apply:

Demand modelling will be required. All upgrades and/or deficiencies identified by the finalized modeling results shall be completed/corrected at the Developer's sole expense and will be a condition of subdivision/development.

The proposed development requires an adequately sized, single-point service connection with water metering to be designed and installed at the building permit stage.

In accordance with the Water Bylaw, the existing 19mmØ water services to the parent lots shall be capped at the main by City crews at the Developer's sole expense.

Engineered design is required. See DSCB, Section 3.

ATTACHMENT A
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING AND DEVELOPMENT PERMIT COMMENTS**

STORM SEWER REQUIREMENTS:

Municipal storm service is not available on Rosetta Avenue.

Per the CVEP, municipal storm service for this property has been planned to go to Rosetta Avenue. The catchment area (2C) for this property is associated with DCC-specific charges for CVEP Major Project D4.

Connection to the municipal system is required. The CoM does not guarantee depth at property line. The developer shall prove out the limitations of the existing system by whatever means deemed appropriate and shall ensure the development is adequately serviced at the developer's sole expense.

As a condition of Development, the following will apply:

To advance this project out of sequence with the CVEP, an adequately sized storm main for the catchment area (2C) will need to be constructed in general accordance with the submitted CSP. An offsite community detention facility is not required. An onsite private detention facility will be required at time of building permit.

The developer is required to design a storm water system utilizing Best Management Practices (BMPs) that will reduce the site's 10-year post-development runoff rate to its 10-year pre-development runoff rate. Installation of the system should occur at the building permit stage.

Engineered design is required. See DSCB, Sections 4 and 5.

Designs shall be accompanied by a report from a fully qualified professional engineer which clearly identifies the specific opportunities and constraints for implementing best management practices for the development, demonstrates that groundwater recharge and/or other appropriate best management practices are sustainable and have been maximized for the particular site, and provides examples of similar installations which demonstrate the sustainability, ability to construct, and ease of maintenance of the works to be constructed.

In particular, when implementing the City ground water recharge guidelines, the applicant shall be responsible for conducting a hydrological investigation to estimate infiltration rates, soil permeability, and determine the location of the water table and its seasonal variations. This information is to be included in any engineering drawing submittals as it is critical to the design of BMPs, building envelopes, and minimum building elevations.

Proposed measures shall be subject to acceptance by the Director of Engineering and Public Works and/or the senior Building Inspector.

SANITARY SEWER REQUIREMENTS:

Municipal sanitary service is available on Rosetta Avenue.

City records indicate an existing 100mmØ sanitary service, this service will need to be capped at the main by city forces at the developer's expense.

City records indicate an existing, 375mmØ gravity main is adjacent to the site.

The City does not guarantee depth at the property line. The Developer must prove out the limitations of the existing system by whatever means deemed appropriate and shall ensure the development is adequately serviced at the Developer's sole expense. This may include modeling the sanitary sewer system to investigate the impact of the development on system capacity under the future scenario and resolving any downstream deficiencies. All upgrades and/or deficiencies

ATTACHMENT A
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING AND DEVELOPMENT PERMIT COMMENTS**

identified by the finalized modeling results shall be completed/corrected at the Developer's sole expense and will be a condition of subdivision/development.

The development will require an adequately sized, single-point service connection.

Engineered design is required. See DSCB, Schedule C, Sections 6 and 7 as amended.

ROAD WORK REQUIREMENTS:

Rosetta Avenue provides paved access to the site. Per the CVEP, permanent, primary access for this property shall come from future-planned Road 2F.

The DSCB Introduction, Section 9.7 – Highway Dedication, states the following: *“The required highway dedications for various classifications of highways in a Subdivision/Development shall be as specified in Schedule A hereto. The Municipality shall advise the Owner of the classification of each highway in a proposed Subdivision/Development and the required highway dedication.”*

Rosetta Avenue

Rosetta Avenue is classified as a collector road in the Mission Mobility 2050 Transportation Master Plan. Rosetta Avenue currently has 20.0m dedication adjacent to the proposed development and as such, the Developer will be required to dedicate an additional 2.0m of Highway Dedication adjacent to Rosetta Avenue. Rosetta Avenue will require half road improvements to a Collector Standard following a modified cross section based on DSCB Standard Drawing SS-R03 within an ultimate 24.0 m ROW. The design will be complete with road drainage, active transportation infrastructure as per Mission Mobility 2050 (multi-use path), underground hydro, gas, telephone, street lighting (for all road users), signage, and boulevard tree planting as per the modified cross section available from the Engineering and Public Works Department.

The Developer will be responsible for constructing the appropriate infrastructure offsite to achieve the modified collector road cross section. A security deposit for offsite works is required as per DSCB Schedule C, Section 1.6.3.

Road 2F

Road 2F will be designed to a modified Local Road Standard based on SS-R04 within a 18.0m ROW and the developer is ultimately required to dedicate a portion of land and take responsibility for a preliminary design and cost-of-construction of future-planned Road 2F. The design will be complete with road drainage, sidewalk, underground hydro, gas, telephone, streetlighting and boulevard tree planting as per the modified cross section available from the Engineering and Public Works Department. Road 2F will be constructed by others in the future. Once constructed, it is expected that the primary access to this development will be closed at Rosetta Avenue and switched over to Road 2F. To secure this commitment, the developer shall install a set of closable gates at the Rosetta Avenue entrance. A cash-in-lieu contribution towards the construction of future-planned Road 2F will be required.

ATTACHMENT A
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING AND DEVELOPMENT PERMIT COMMENTS**

Engineered design is required. See DSCB Schedule C, Sections 8, 9, 10, and 11.

STREET LIGHTING:

In accordance with the DSCB, Schedule B-1, Ornamental Street Lighting is a requirement of subdivision/development.

Street Lighting design will complement Roadway Design and be in general conformance with the DSCB.

Engineered design is required. See the DSCB, Schedule C, Section 9 – Street Lighting, as amended.

BOULEVARD TREE PLANTING AND LANDSCAPING:

In accordance with the DSCB, Schedule B-1, Boulevard tree planting and offsite landscaping is a requirement of subdivision/development.

Engineered design is required. See the DSCB, Schedule C, Section 11 – Boulevard Tree Planting and Section 12 – Specifications and Standards for Landscaping, as amended.

ENGINEERING STANDARDS AND CONSTRUCTION DRAWING SPECIFICATIONS:

Engineered design must be prepared and submitted in general conformance with the DSCB.

See the DSCB, Schedule C, Section 2 – Engineering Standards, Section 13 – Construction Drawing Submissions as amended, and AutoCAD Templates available for download on the City's website via the Land Development and Planning AutoCAD Standards web page.

Provide a signed Form F-5 – Commitment by Owner and Consulting Engineer. Incomplete drawing submissions may be returned without review.

POWER, GAS & TELECOMMUNICATIONS:

In accordance with the DSCB, Schedule B-1, Underground electrical, natural gas distribution, and telephone systems are a requirement of subdivision/development.

The Developer's engineer and/or third-party utility company must certify to the Approving Officer that the Power, Gas, and Telecommunications have been designed and constructed/secured in accordance with good engineering practice prior to approval of the subdivision.

See the DSCB INTRODUCTION, Section 9.5 Power, and Telecommunications Distribution, as amended.

LOT GRADING:

Lot Grading will be in conformance with the DSCB, Schedule E – Standards for Designing and Preparing Lot Grading.

ATTACHMENT A
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING AND DEVELOPMENT PERMIT COMMENTS**

Minimum Basement Elevation (MBE) and Garage Pad Elevation (GPE) are to be established for each new lot based on the proposed location of the building shown on the submitted drawing and the Flood Construction Level if it is applicable.

LATECOMER CHARGES:

Pursuant to the Local Government Act Section 507(2) the local government will not require that the owner of the land that is to be developed provide excess or extended services and as such, Latecomer Charges shall not apply.

VARIANCE COMMENTS:

Following a review of the proposed variances, the Engineering Department recommends that the application be reconsidered due to potential negative impacts on Environmentally Sensitive Areas (ESAs) and Protected Natural Assets (PNAs).

Key Concerns:

- **Environmental Protection**- The proposal conflicts with the CVLAP and CVEP, which mandate the preservation of ESAs, riparian zones, and natural corridors.
- **Stormwater Management** – The proposed changes may disrupt natural drainage patterns, contradicting the CVEP Section 5.1, which emphasizes low impact development measures to prevent flooding and erosion.
- **Habitat & Biodiversity** – Variances reducing buffer zones or increasing impermeable surfaces risk fragmenting natural habitats and degrading ecological functions, contrary to CVLAP Section 4.2 and CVEP Appendix C
- **Climate Resilience & Sustainable Growth** – The application does not align with Mission’s Climate Action Plan or CVEP Green Infrastructure objectives, which emphasize responsible land use and long-term environmental sustainability.

RECOMMENDATION:

The Engineering Department strongly advises that any approved variances align with the CVLAP and CVEP to ensure long-term ecological resilience.

From an engineering point of view, the application may proceed to adoption once the servicing requirements have been met as per the DSCB, Introduction, Items 10 and/or 11.



Prepared by:
Jason MacPherson,
Engineering Technologist 2 - Development



Reviewed by:
Jay Jackman,
Manager of Development Engineering

**CITY OF MISSION
DEVELOPMENT PERMIT DP23-049**

Issued to:

Registered Owner	Owner Address
Derek & Christine Ann King	32909 Rosetta Avenue, Mission, BC V2V 6X8

(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Permit applies to and only to those lands within the Municipality, and more particularly known and described as below, and any and all buildings, structures and development thereon:

Address	Parcel Identifier and Legal Description
32909 Rosetta Avenue	011-458-089 Lot 1 Section 33 Township 17 New Westminster District Plan 78120

3. The above property has been designated as **Development Permit Area B Multi-unit Residential** in the Official Community Plan.

The said lands are zoned Multi-unit Townhouse One Zone (MT1) pursuant to "City of Mission Zoning Bylaw 5949-2020" as amended.

"City of Mission Zoning Bylaw" as amended is hereby varied in respect of the said lands as follows:

1. Amend Section 704.D.1 to reduce the front setback for the townhomes from 6.0 m to 4.0 m.
2. Amend Section 704.D.1 to reduce the interior side setback for the townhomes from 7.5 m to 1 m.
3. Amend Section 704.D.1 to reduce the exterior side setback for the townhomes from 7.5 m to 4 m.
4. Amend Section 704.I.3 to permit parking stalls within setbacks.

See Schedule A for a site plan with these variances detailed.

"City of Mission Zoning Bylaw" as amended is hereby supplemented in respect of the said lands as follows:

Building design, siting and landscaping plans to be as shown on Drawings Numbered 1 - 4 inclusive, and landscape drawing L-1 which are attached hereto and form part of this permit as Schedule B.

Minor changes to the aforesaid drawings that do not affect the intent of this Development permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Municipality.

4.

- (a) The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans numbered 1 - 4 inclusive, prepared by 4th Dimension Design + Drafting (hereinafter referred to as "the plans"), unless approval in writing has been obtained from the Municipality to deviate from the said development plan.
- (b) Access to and egress from the said lands shall be constructed substantially in conformance with the plans.
- (c) Parking and siting thereof shall substantially conform to the plans.
- (d) The following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto as Drawing Number L-1 prepared by C. Kavolinas & Associates Inc.
 - (ii) All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the Municipality.

5. As a condition of the issuance of this development permit, the Municipality must have in its possession, prior to issuance of a building permit for this development, security as set out below to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clauses 5 (b) and (c) below. It is acknowledged that, at the time of issuance of this development permit, the municipality does not have such security in its possession. Any prospective purchaser or developer should be aware that this requirement will need to be fulfilled prior to issuance of a building permit for the development outlined in this permit.

- (a) An Irrevocable Letter of Credit in the amount of \$118,976 for the purpose of:
- (b) A condition of the posting of the security is that should the Permittee fail to carry out the works or services as herein above stated, according to terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by servants, agents or contractors, and any surplus shall be paid over to the Permittee. If the security deposit is insufficient to cover the actual cost of completing the said works, then the Developer shall pay such deficiency to the Municipality immediately upon receipt of the Municipality's bill for same.
- (c) The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within this six (6) month period, the Municipality has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

If the landscaping is approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the Municipality having to draw the security, 90% of the original security will be returned to the Permittee.

A holdback of 10% of the original security will be retained until a final inspection is undertaken within 12 months of the date of the original inspection approval was given to the landscaping. If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee. If, after the final inspection, approval of the landscaping is not given, the Municipality has the option of continuing to renew the security until the required landscaping is approved or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.

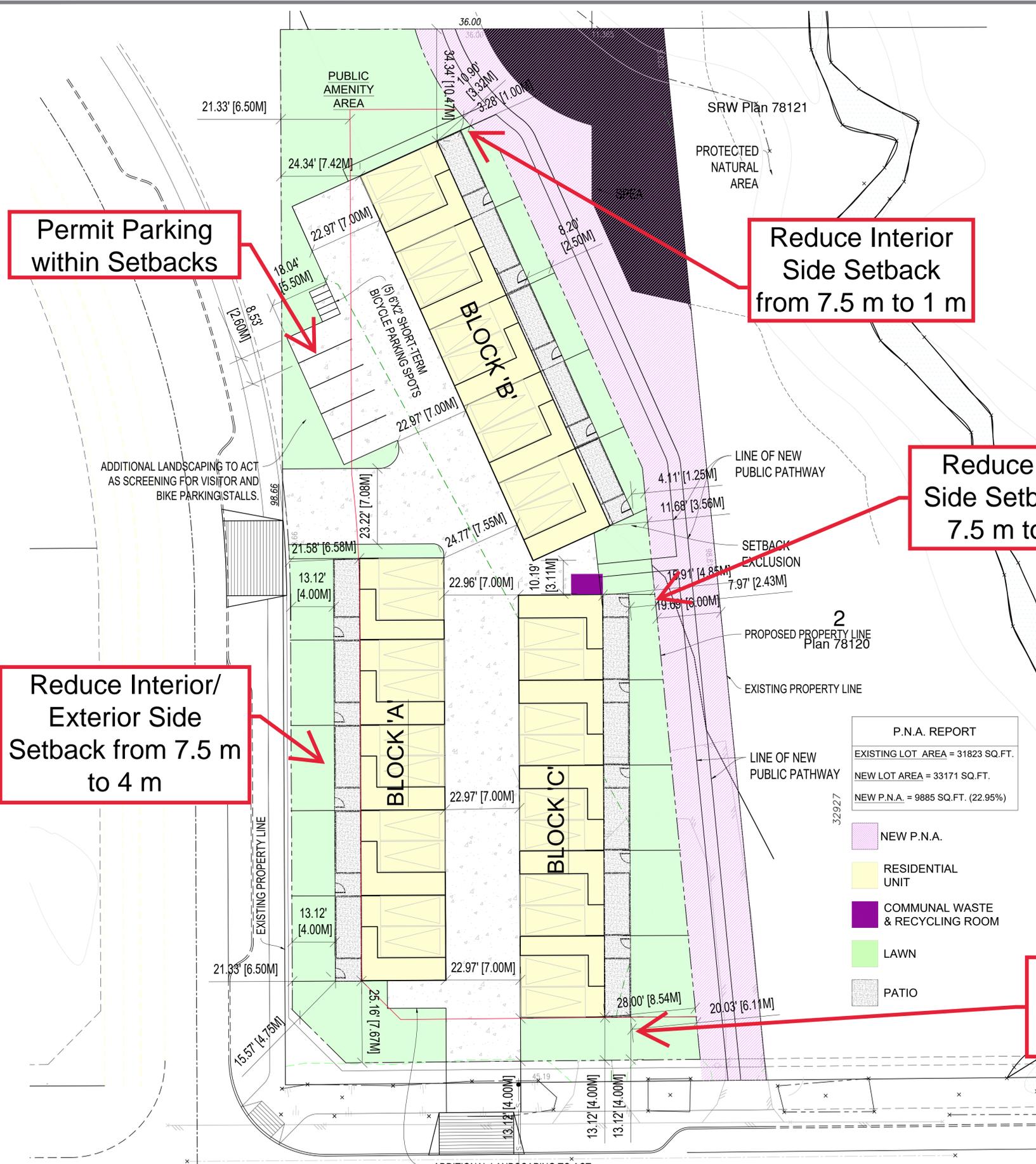
6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

MAYOR

CORPORATE OFFICER



INDIVIDUAL UNIT OUTDOOR AMENITY AREA TABLE

BUILDING	UNIT	AMENITY AREA
A	1	550 SQ.FT.
A	2	550 SQ.FT.
A	3	550 SQ.FT.
A	4	550 SQ.FT.
A	5	530 SQ.FT.
B	1	400 SQ.FT.
B	2	420 SQ.FT.
B	3	420 SQ.FT.
B	4	420 SQ.FT.
B	5	400 SQ.FT.
C	1	670 SQ.FT.
C	2	640 SQ.FT.
C	3	570 SQ.FT.
C	4	510 SQ.FT.
C	5	440 SQ.FT.

TOTAL UNIT AMENITY AREA = 7620 SQ.FT.

ZONING ANALYSIS REVIEW

LEGAL DESCRIPTION: Lot 1, Plan NWP78120, Section 33, Township 17, New Westminster Land District

ZONING BYLAW: CURRENT: S20 PROPOSED: MT1

CIVIC ADDRESS: 32909 ROSETTA AVE, MISSION B.C.

SETBACKS:	REQUIRED	PROPOSED
FRONT:	6.00 m	4.00 m
REAR:	7.50 m	7.50 m
SIDE (interior - East):	7.50 m	(FACING P.N.A.) 3.00 m
SIDE (exterior - West):	7.50 m	6.50 m

LOT COVERAGE: 55.00% MAX. (18,244 SQ.FT.) 30.47% (10,110 SQ.FT.)

BUILDING HEIGHTS: 12.00 m 11.37 m

DENSITY: 1.00 0.73

TOTAL FLOOR AREA (3 BLDG):	23,340 SQ.FT.
EACH BUILDING FLOOR AREA:	7,780 SQ.FT. x 3 = 23,340 SQ.FT.
LOT AREA:	31,823 SQ.FT.

BUILDING BREAKDOWN:

BLOCK	COVERAGE	# OF UNITS	COMMUNAL GARB. AREA
BLOCK 'A':	3370 SQ.FT.	5	
BLOCK 'B':	3370 SQ.FT.	5	2.0m x 3.0m 64 SQ.FT. ROOM
BLOCK 'C':	3370 SQ.FT.	5	

NUMBER OF STOREYS: 3 STOREYS

NUMBER OF UNITS: 15 RESIDENTIAL UNITS

OFFSTREET PARKING: 30 RESIDENT PARKING SPACES 6 VISITOR PARKING SPACES

SHORT TERM BICYCLE PARKING: 5 SPACES PROVIDED

PRIVATE AMENITY AREA: 7,620 SQ.FT.

PUBLIC AMENITY AREA: 2,200 SQ.FT.

VARIANCES REQUIRED:

- VISITOR PARKING STALLS WITHIN REQUIRED SETBACK.
- SOUTH SETBACK = REQ. = 6.00m PROPOSED = 4.00m
- EAST SETBACK = REQ. = 7.50m PROPOSED = 1.00m
- WEST SETBACK = REQ. = 7.50m PROPOSED = 4.00m

Permit Parking within Setbacks

Reduce Interior Side Setback from 7.5 m to 1 m

Reduce Interior Side Setback from 7.5 m to 2.3 m

Reduce Interior/Exterior Side Setback from 7.5 m to 4 m

Reduce Front Setback from 6 m to 4 m

P.N.A. REPORT

EXISTING LOT AREA = 31823 SQ.FT.

NEW LOT AREA = 33171 SQ.FT.

NEW P.N.A. = 9885 SQ.FT. (22.95%)

- NEW P.N.A.
- RESIDENTIAL UNIT
- COMMUNAL WASTE & RECYCLING ROOM
- LAWN
- PATIO

PROJECT TITLE: 32909 ROSETTA AVE. MISSION, BC



CLIENT: KEHAL TOWNHOUSES

4TH DIMENSION DESIGN + DRAFTING

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SHEET TITLE: SITE PLAN ZONING ANALYSIS REVIEW

PAGE No: 1 OF 4

DATE: 11-25-2024
PROJECT: RM2-1-216
DESIGNED/CHECKED: JM
DRAWN: MJ

NOTE: BUILDER AND/OR OWNER IS TO VERIFY ALL ON SITE CONDITIONS, DIMENSIONS AND STRUCTURE PRIOR TO CONSTRUCTION. 4TH DIMENSION DESIGN & DRAFTING SERVICES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE DRAWINGS AND ON SITE CONDITIONS.

SITE PLAN 32200 SQ.FT. SCALE: 1/16" = 1'-0"

INDIVIDUAL UNIT OUTDOOR AMENITY AREA TABLE

BUILDING	UNIT	AMENITY AREA
A	1	550 SQ.FT.
A	2	550 SQ.FT.
A	3	550 SQ.FT.
A	4	550 SQ.FT.
A	5	530 SQ.FT.
B	1	400 SQ.FT.
B	2	420 SQ.FT.
B	3	420 SQ.FT.
B	4	420 SQ.FT.
B	5	400 SQ.FT.
C	1	670 SQ.FT.
C	2	640 SQ.FT.
C	3	570 SQ.FT.
C	4	510 SQ.FT.
C	5	440 SQ.FT.

TOTAL UNIT AMENITY AREA = 7620 SQ.FT.

ZONING ANALYSIS REVIEW

LEGAL DESCRIPTION: Lot 1, Plan NWP78120, Section 33, Township 17, New Westminster Land District

ZONING BYLAW: CURRENT: S20 PROPOSED: MT1

CIVIC ADDRESS: 32909 ROSETTA AVE, MISSION B.C.

LOT AREA: 31823 SQ.FT.

SETBACKS:	REQUIRED	PROPOSED
FRONT:	6.00 m	4.00 m
REAR:	7.50 m	7.50 m
SIDE (interior - East):	7.50 m	(FACING P.N.A.) 3.00 m
SIDE (exterior - West):	7.50 m	6.50 m

LOT COVERAGE: 55.00% MAX. (18,244 SQ.FT.) 30.47% (10,110 SQ.FT.)

BUILDING HEIGHTS: 12.00 m 11.37 m

DENSITY: 1.00 0.73

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EACH BUILDING FLOOR AREA: 7,780 SQ.FT. x 3 = 23,340 SQ.FT.

LOT AREA: 31,823 SQ.FT.

BUILDING BREAKDOWN:	LOT COVERAGE	# OF UNITS	COMMUNAL GARB. AREA
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BLOCK 'B':	3370 SQ.FT.	5	2.0m x 3.0m 64 SQ.FT. ROOM
BLOCK 'C':	3370 SQ.FT.	5	

NUMBER OF STOREYS: 3 STOREYS

NUMBER OF UNITS: 15 RESIDENTIAL UNITS

OFFSTREET PARKING: 30 RESIDENT PARKING SPACES 6 VISITOR PARKING SPACES

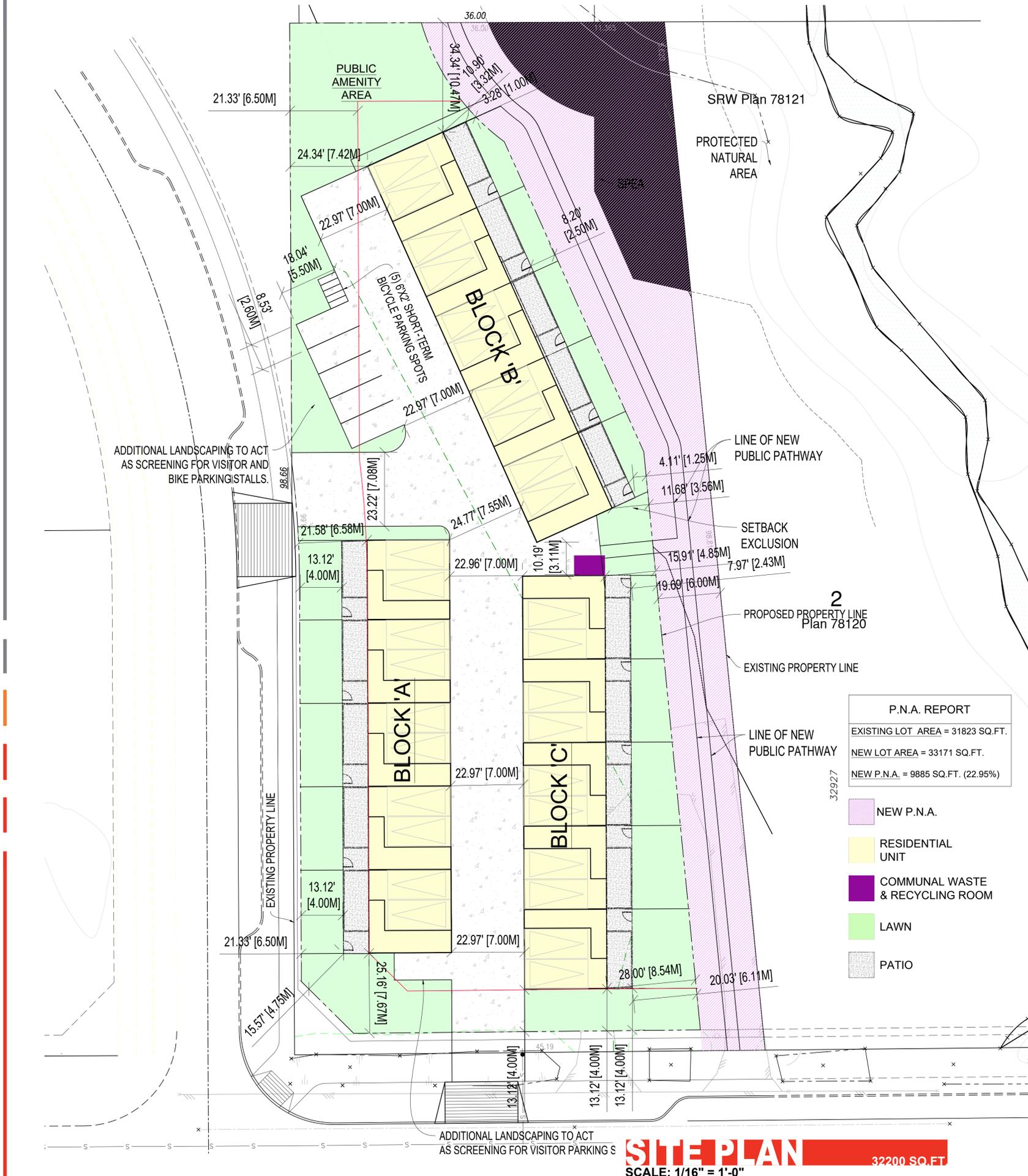
SHORT TERM BICYCLE PARKING: 5 SPACES PROVIDED

PRIVATE AMENITY AREA: 7,620 SQ.FT.

PUBLIC AMENITY AREA: 2,200 SQ.FT.

VARIANCES REQUIRED:

- VISITOR PARKING STALLS WITHIN REQUIRED SETBACK.
- SOUTH SETBACK = REQ. = 6.00m PROPOSED = 4.00m
- EAST SETBACK = REQ. = 7.50m PROPOSED = 1.00m
- WEST SETBACK = REQ. = 7.50m PROPOSED = 4.00m



STEP PLAN
SCALE: 1/16" = 1'-0"
32200 SQ.FT.

PROJECT TITLE
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MISSION, BC**



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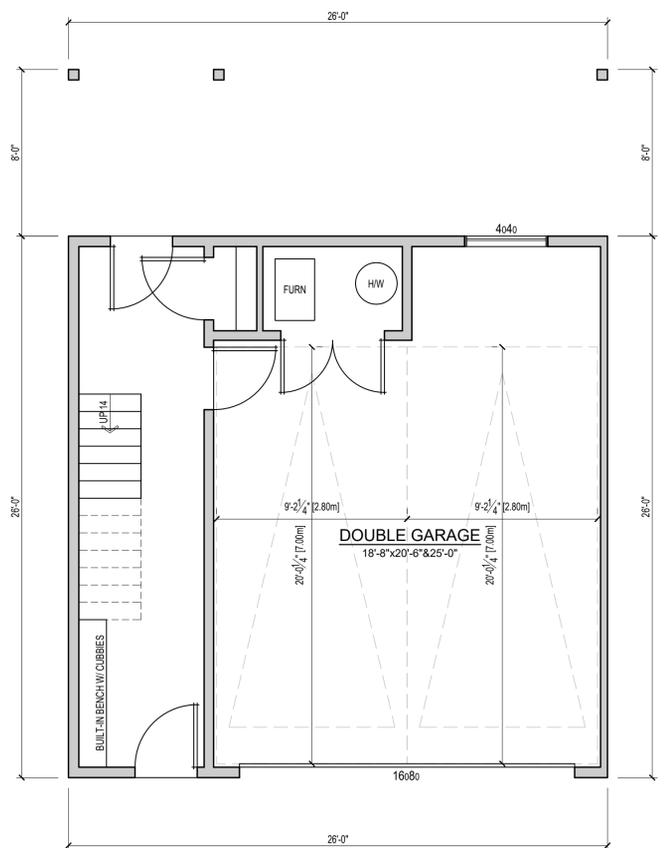
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KEHAL TOWNHOUSES

SHEET TITLE
**SITE PLAN
ZONING ANALYSIS REVIEW**

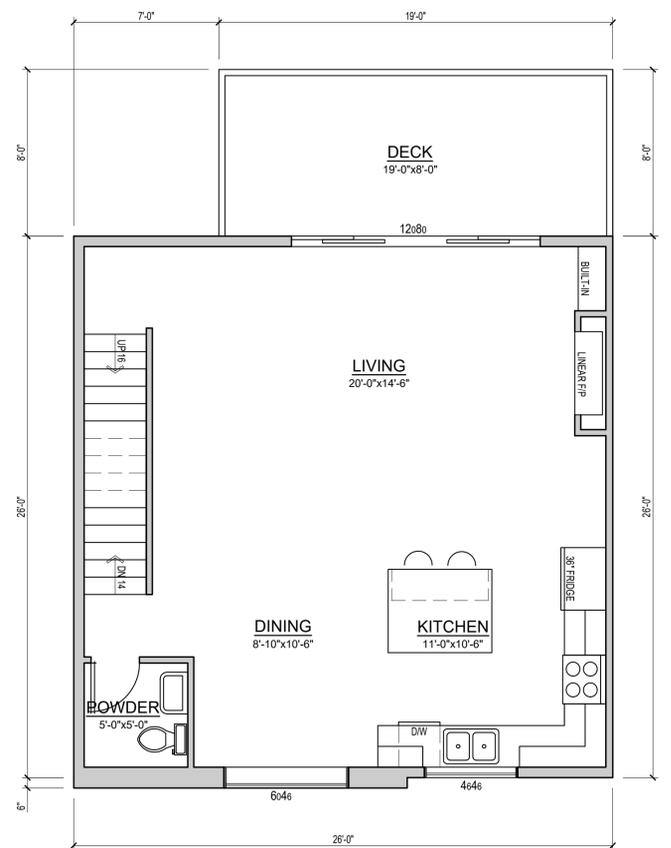
PAGE No:
1
OF 4

DATE:
11-25-2024
PROJECT:
RM-21-216
DESIGNED/CHECKED:
JM
DRAWN:
MJ

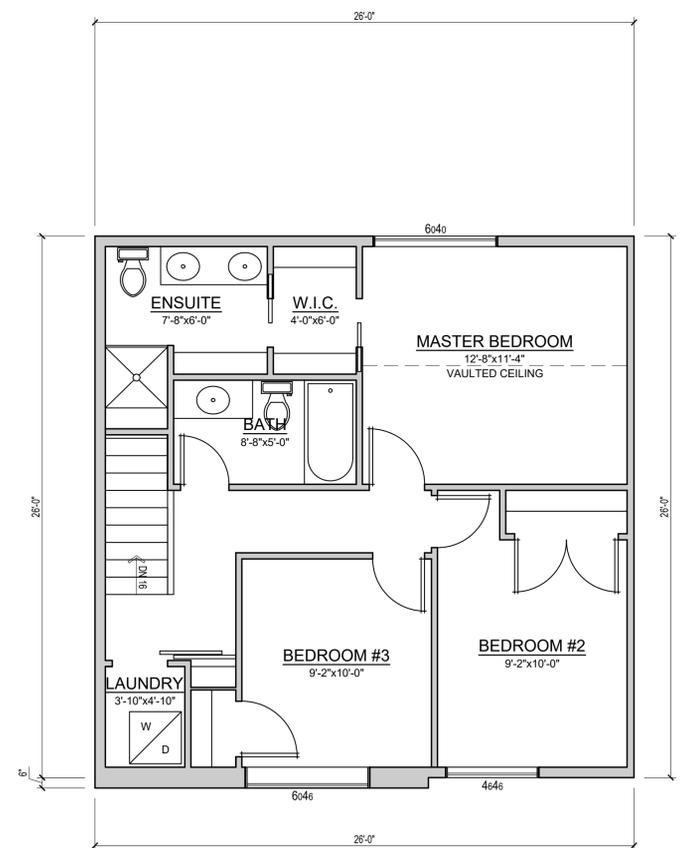
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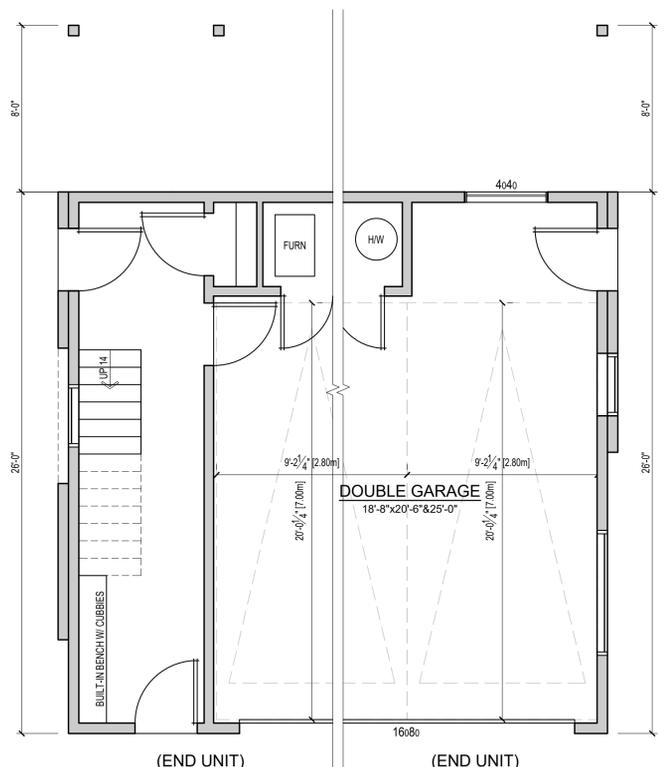
1ST FLOOR PLAN 446 SQ.FT. GARAGE 230 SQ.FT.
SCALE: 1/4" = 1'-0"



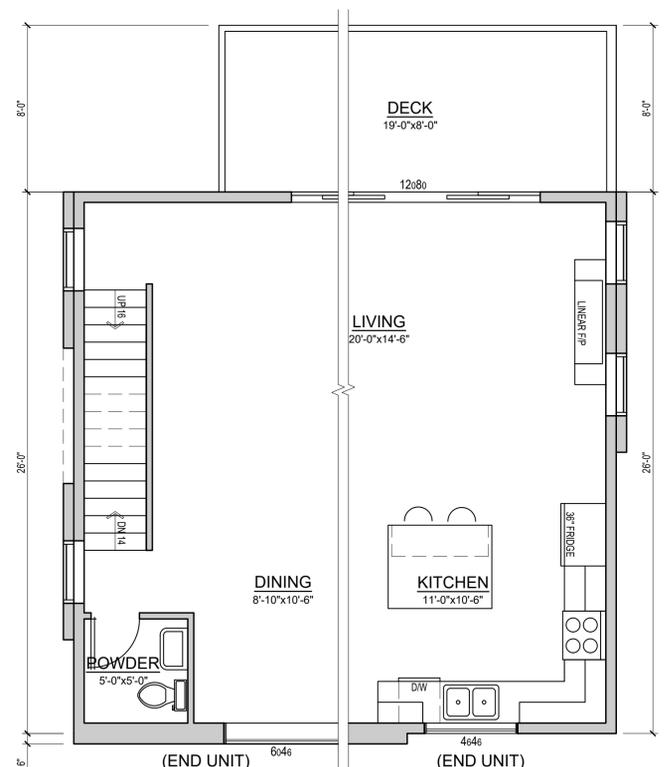
2ND FLOOR PLAN 676 SQ.FT.
SCALE: 1/4" = 1'-0"



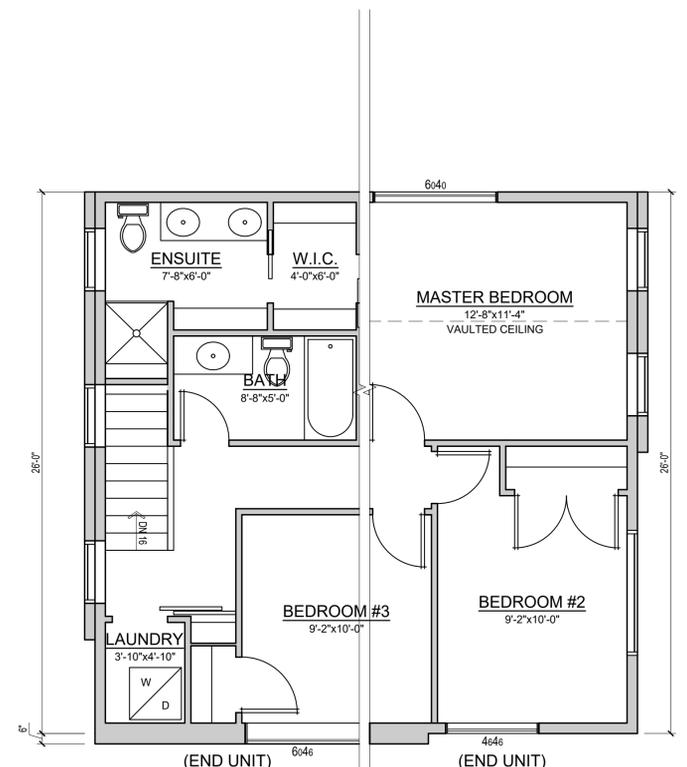
3RD FLOOR PLAN 650 SQ.FT.
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN (END UNITS)
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN (END UNITS)
SCALE: 1/4" = 1'-0"



3RD FLOOR PLAN (END UNITS)
SCALE: 1/4" = 1'-0"

NOTE: BUILDER AND/OR OWNER IS TO VERIFY ALL ON SITE CONDITIONS, DIMENSIONS AND STRUCTURE PRIOR TO CONSTRUCTION. 4TH DIMENSION DESIGN & DRAFTING SERVICES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE DRAWINGS AND ON SITE CONDITIONS.

REV.	DATE	DESCRIPTION

PROJECT TITLE
32909 ROSETTA AVE.
MISSION, BC



4TH DIMENSION DESIGN + DRAFTING

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www.4ddrafting.com info@4ddrafting.com

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KEHAL TOWNHOUSES

SHEET TITLE
TYPICAL FLOOR PLANS FOR BUILDINGS A, B, C

PAGE No:
2
OF 4

DATE: 11-25-2024
PROJECT: RM-21-216
DESIGNED/CHECKED: JM
DRAWN: MJ

FINISH MATERIAL AND COLOUR LEGEND		
C1	HORIZONTAL - IRON GREY HARDIE BOARD SIDING	
C2	BLACK - RAISED SEAM METAL ROOFING	
C3	VERTICAL - ARCTIC WHITE HARDIE BOARD SIDING	
C4	HORIZONTAL - ARCTIC WHITE HARDIE BOARD SIDING	
C5	IRON GREY HARDIE TRIM BOARD	
C6	ESPRESSO HARDIE TRIM BOARD	
C7	ESPRESSO PAINTED FINISH	
C8	BLACK - CLASS 'B' RATED ASPHALT SHINGLE ROOFING	
C9	BRICK VENEER FINISH	



BLOCK A-B-C FRONT ELEVATION
SCALE: 3/16" = 1'-0"



BLOCK A-B-C REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT TITLE
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MISSION, BC**



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SHEET TITLE
BLOCK 'A' ELEVATIONS

PAGE No:
3
OF 4

DATE:
11-25-2024
PROJECT:
RM-21-216
DESIGNED/CHECKED:
JM
DRAWN:
MJ

REV.	DATE	DESCRIPTION

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BLOCK A-B-C RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



BLOCK A-B-C LEFT ELEVATION
SCALE: 3/16" = 1'-0"



ROSETTA STREETSCAPE
SCALE: 3/16" = 1'-0"

FINISH MATERIAL AND COLOUR LEGEND

C1	HORIZONTAL - IRON GREY HARDIE BOARD SIDING	
C2	BLACK - RAISED SEAM METAL ROOFING	
C3	VERTICAL - ARCTIC WHITE HARDIE BOARD SIDING	
C4	HORIZONTAL - ARCTIC WHITE HARDIE BOARD SIDING	
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C7	ESPRESSO PAINTED FINISH	
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C9	BRICK VENEER FINISH	

PROJECT TITLE
**32909 ROSETTA AVE.
MISSION, BC**



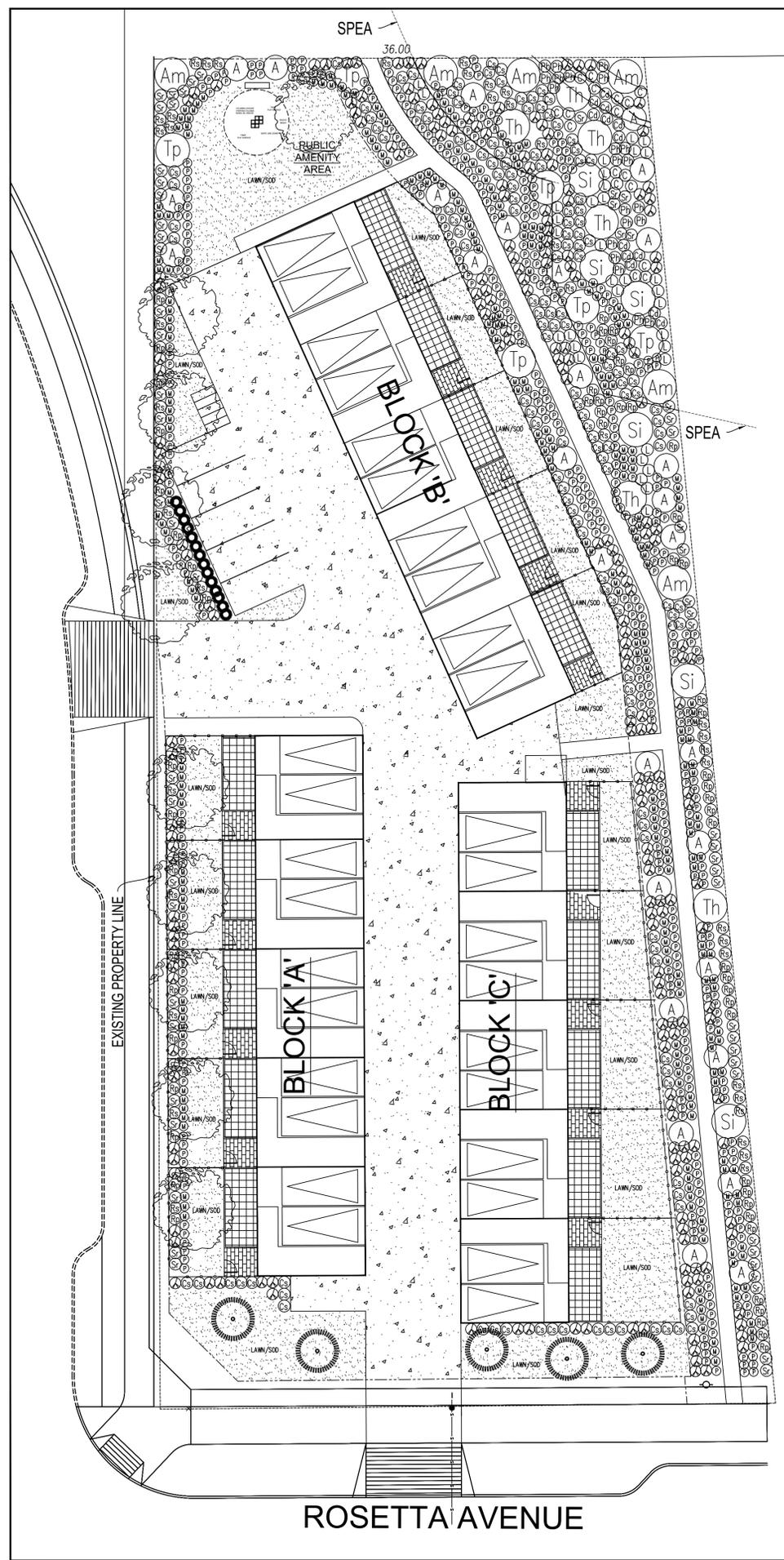
CLIENT
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REV.	DATE	DESCRIPTION

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SHEET TITLE
BLOCK 'A' ELEVATIONS

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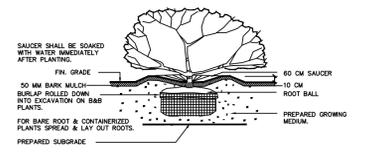


KEY	BOTANICAL NAME	COMMON NAME	ON-SITE QTY.	SPEA	SIZE	SPACING	REMARKS
CONIFEROUS TREES							
●	PICEA GRANDIS	GRAND FIR	5		2.50 METERS	AS SHOWN	B. & B.
⊕	THUJA PLICATA	WESTERN RED CEDAR	1	6	2.00 METERS	AS SHOWN	B. & B.
⊙	PICEA SITCHENSIS	SITKA SPRUCE	6		2.00 METERS	AS SHOWN	B. & B.
⊖	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	6		2.00 METERS	AS SHOWN	B. & B.
DECIDUOUS TREES							
⊕	ACER CIRCINATUM	VINE MAPLE	4	25	2.00 METERS	AS SHOWN	B. & B.
⊕	ACER MACROPHYLLUM	BIGLEAF MAPLE	1	5	2.00 METERS	AS SHOWN	B. & B.
⊕	CORNUS NUTTALLII	PACIFIC DOGWOOD	10		5 CM. CAL.	AS SHOWN	B. & B.
SHRUBS							
⊕	CORYLUS CORNUTA	BEAKED HAZELNUT	17	#2 POT	AS SHOWN	WELL BRANCHED	
⊕	CRATAEGUS DOUGLASHI	BLACK HAWTHORN	14	#2 POT	AS SHOWN	WELL BRANCHED	
⊕	PHYSOCARPUS CAPITATUS	PACIFIC NINE-BARK	21	#2 POT	AS SHOWN	WELL BRANCHED	
⊕	CORNUS SERICEA	RED OSIER DOGWOOD	25	124	#2 POT	AS SHOWN	WELL BRANCHED
⊕	MAHONIA NERVOSEA	LONGLEAF MAHONIA	60	202	#3 POT	AS SHOWN	WELL BRANCHED
⊕	SAMBUCUS RACEMOSA	RED ELDERBERRY	27	30	#2 POT	AS SHOWN	WELL BRANCHED
⊕	RUBUS PARVIFLORUS	THIMBLE BERRY	13	35	#2 POT	AS SHOWN	WELL BRANCHED
⊕	LONICERA INVOLUCRATA	BLACK TWNBERRY	0	35	#2 POT	AS SHOWN	WELL BRANCHED
⊕	RUBUS SPECTABILIS	SALMONBERRY	20	13	#2 POT	AS SHOWN	WELL BRANCHED
⊕	POLYSTYCHUM MUNITUM	SWARD FERN	86	235	#3 POT	AS SHOWN	WELL BRANCHED
⊕	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	41	166	#2 POT	AS SHOWN	WELL BRANCHED
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	14		1.50 METERS	70 CM. O.C.	

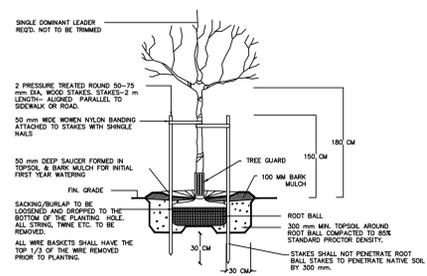
ALL INVASIVE PLANTS TO BE REMOVED AND THEIR REMOVAL TO BE CONTINUED AS PART OF THE ON-GOING MAINTENANCE PROGRAM FOR THIS SITE.

NOTES / GENERAL

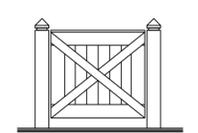
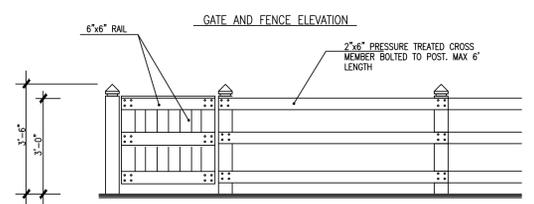
- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "SITA STANDARDS". BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD".
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BCMA/BCSLA "LANDSCAPE STANDARDS".
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:
 - LAWN AREAS: 300 mm
 - GROUND COVER AREAS: 450 mm
 - SHRUB AREAS: 450 mm
 - TREE PITS: 300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOL, WOOD INCL, WOODY PLANT PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



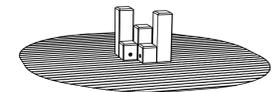
TREE PLANTING DETAIL
SECTION N.T.S.



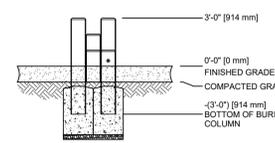
BACK OF GATE

- NOTE:**
- ALL LUMBER PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVES.
 - ALL HARDWARE HOT DIPPED GALVANIZED
 - APPLY 2 COATES EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 - ALL FENCES TO BE LEVEL. CHANGES TO GRADE TO BE IN 12"-18" STEPS (MAX) GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3"-6".

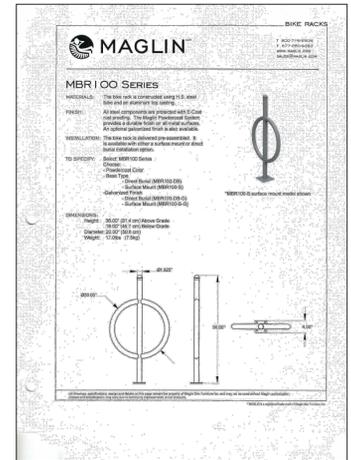
COLUMBIA CASCADE STEPPING COLUMNS MODEL NO. 4500-507



ISOMETRIC VIEW



FRONT VIEW



Missing or invalid reference
File: ... \Details\Maglin Bench A.ppt
Sheet: 1

DATE	REMARKS	NO.
	REVISIONS	

C. KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA

2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8

PHONE (604) 857-2376

CLIENT

1341201 BC LTD.
c/o MATT STOGRYN
SIGNATURE DEVELOPMENT APPLICATIONS

604-

TITLE

PLAN VIEW

LANDSCAPE PLAN
PROPOSED
KEHAL TOWNHOUSES
23090 ROSETTA AVENUE
MISSION, B.C.

SCALE: 1:200	DATE: NOV/24
DRAFT: CHK'D	ENG: CHK'D
APPR'D: AS BUILT	
PRINTED: JOB No.	DRAWING No. L-1

Signature Development Consulting

May 13, 2024

Mr. Jay Hazard
Planner 2
Planning - Development Services
c.c. to Mayor and Council
7337 Welton St
Mission, BC
V2V 3X1

Re: 32909 Rosetta Avenue – PNA Compensation and Community Assessment Fund Contribution

Dear Jay,

- 1. Cash Contribution for PNA Reduction:** As per the Cedar Valley Area Plan for the loss of PNA the developers will contribute the full amount of \$7,200 per unit which is \$108,000.
- 2. 22.95%** of the site will be dedicated to the city as (PNA) parkland, additionally the land dedicated as PNA will be restored with native planting and a walking trail with an estimated cost of \$68,490.
- 3.** An additional **Voluntary** CAC contribution in support of this rezoning application in the amount of \$108,000.00 is offered

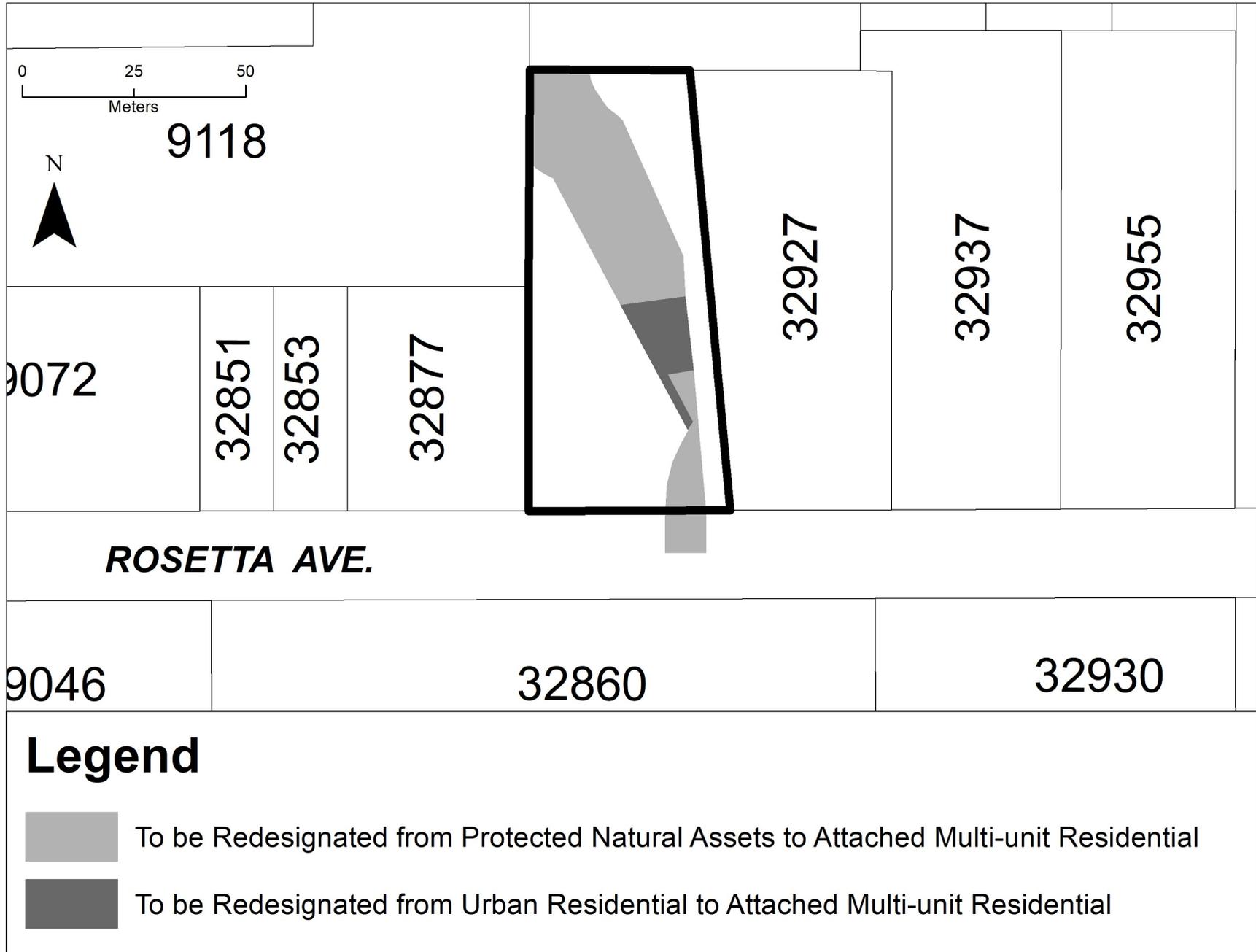
We trust you find this proposal supportable in light of the challenges with this particular development site.

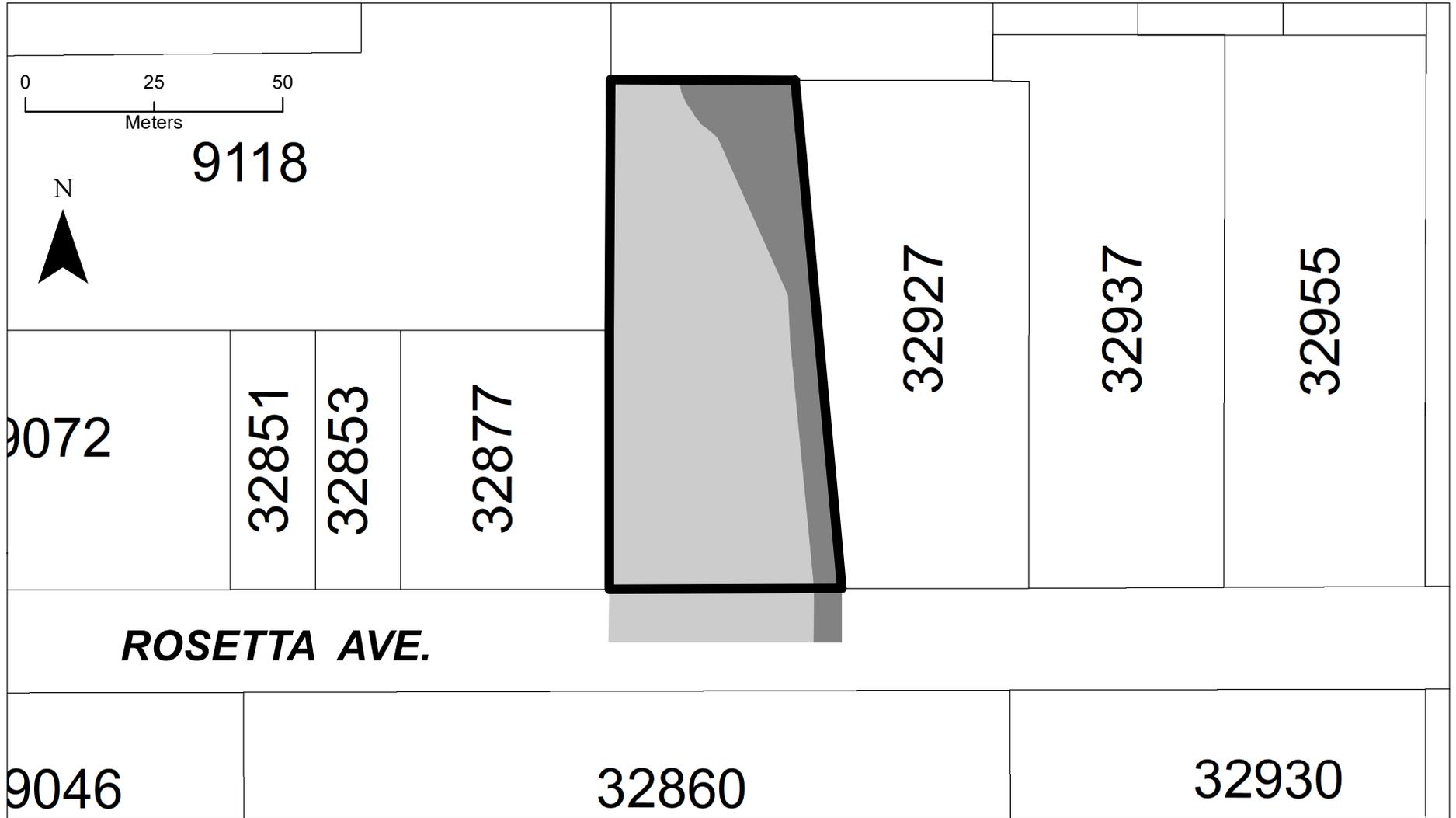
Yours truly

Matt Stogryn

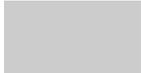
Digitally signed by Matt Stogryn
DN: C=CA, E=6pcars@gmail.com,
CN=Matt Stogryn
Date: 2024.05.13 08:28:34-07'00'

Matt Stogryn
Signature Development Consulting
Agent for the Owner



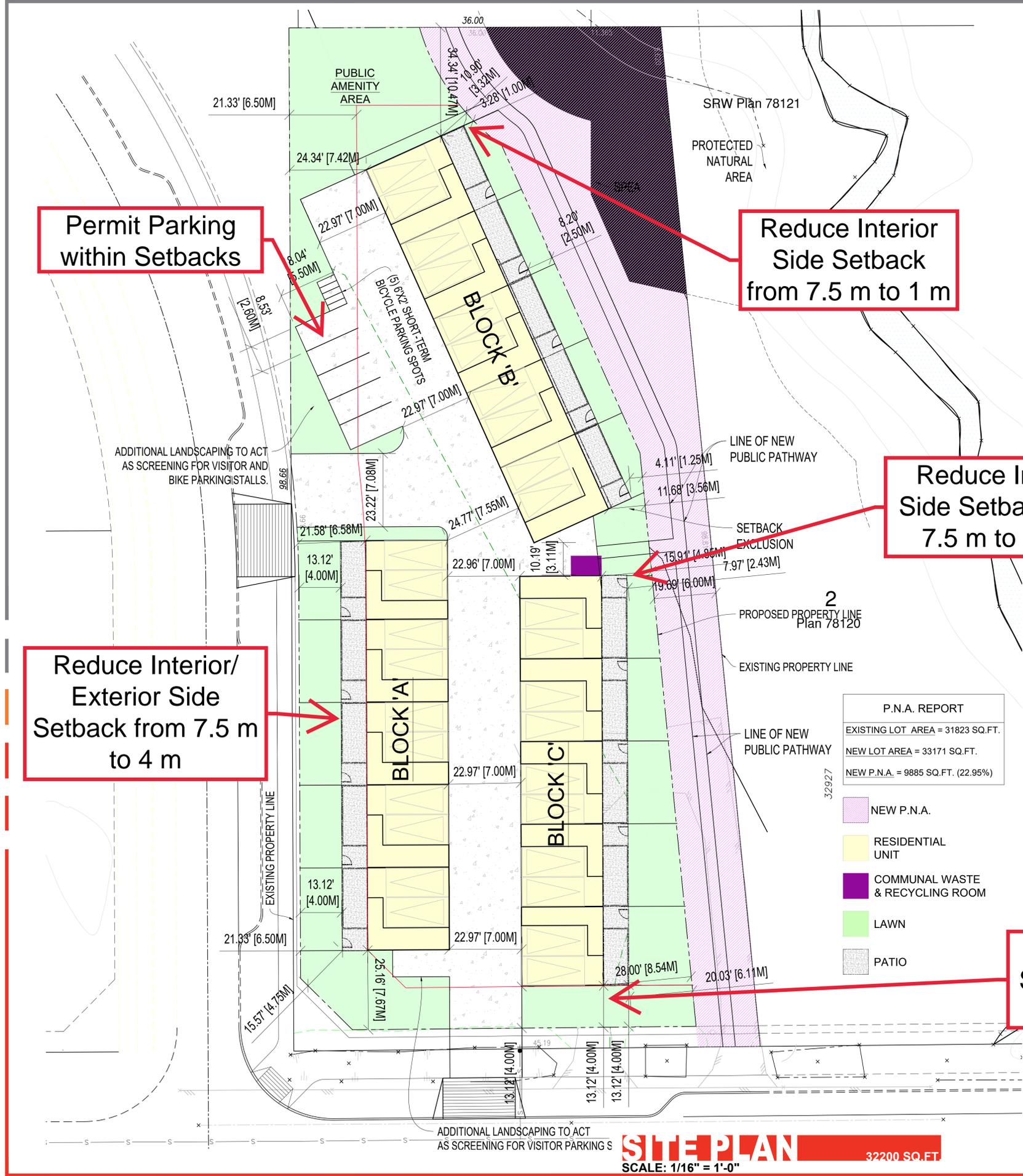


Legend

-  To be Rezoned from Suburban 20 Zone (S20) to Multi-unit Townhouse One Zone (MT1)
-  To be Rezoned from Suburban 20 Zone (S20) to Institutional Parks, Recreation and Civic Zone (IPRC)

INDIVIDUAL UNIT OUTDOOR AMENITY AREA TABLE		
BUILDING	UNIT	AMENITY AREA
A	1	550 SQ.FT.
A	2	550 SQ.FT.
A	3	550 SQ.FT.
A	4	550 SQ.FT.
A	5	530 SQ.FT.
B	1	400 SQ.FT.
B	2	420 SQ.FT.
B	3	420 SQ.FT.
B	4	420 SQ.FT.
B	5	400 SQ.FT.
C	1	670 SQ.FT.
C	2	640 SQ.FT.
C	3	570 SQ.FT.
C	4	510 SQ.FT.
C	5	440 SQ.FT.
TOTAL UNIT AMENITY AREA = 7620 SQ.FT.		

ZONING ANALYSIS REVIEW	
LEGAL DESCRIPTION:	Lot 1, Plan NWP78120, Section 33, Township 17, New Westminster Land District
ZONING BYLAW:	CURRENT: S20 PROPOSED: MT1
CIVIC ADDRESS:	32909 ROSETTA AVE, MISSION B.C.
LOT AREA:	31823 SQ.FT.
REQUIRED:	PROPOSED:
FRONT:	6.00 m 4.00 m
REAR:	7.50 m 7.50m
SIDE (interior - East):	7.50 m (FACING P.N.A.) 3.00 m
SIDE (exterior - West):	7.50 m 6.50 m
LOT COVERAGE:	55.00% MAX 30.47% (18,244 SQ.FT.) (10,110 SQ.FT.)
BUILDING HEIGHTS:	12.00 m 11.37 m
DENSITY:	1.00 0.73
TOTAL FLOOR AREA (3 BLDG):	23,340 SQ.FT.
EACH BUILDING FLOOR AREA:	7,780 SQ.FT. x 3 = 23,340 SQ.FT.
LOT AREA:	31,823 SQ.FT.
BUILDING BREAKDOWN:	LOT COVERAGE # OF UNITS COMMUNAL (GARB. AREA)
BLOCK 'A':	3370 SQ.FT. 5 2.0m x 3.0m
BLOCK 'B':	3370 SQ.FT. 5 64 SQ.FT. ROOM
BLOCK 'C':	3370 SQ.FT. 5
NUMBER OF STOREYS:	3 STOREYS
NUMBER OF UNITS:	15 RESIDENTIAL UNITS
OFFSTREET PARKING:	30 RESIDENT PARKING SPACES 6 VISITOR PARKING SPACES
SHORT TERM BICYCLE PARKING:	5 SPACES PROVIDED
PRIVATE AMENITY AREA:	7,620 SQ.FT.
PUBLIC AMENITY AREA:	2,200 SQ.FT.
VARIANCES REQUIRED:	
1. VISITOR PARKING STALLS WITHIN REQUIRED SETBACK.	
2. SOUTH SETBACK = REQ. = 6.00m PROPOSED = 4.00m	
3. EAST SETBACK = REQ. = 7.50m PROPOSED = 1.00m	
4. WEST SETBACK = REQ. = 7.50m PROPOSED = 4.00m	



PROJECT TITLE:
32909 ROSETTA AVE.
 MISSION, BC



4TH DIMENSION DESIGN + DRAFTING

33082 1ST AVE. MISSION, BC. V2V 1G2
 P.604.557.9465 C.604.832.8811
 www.4ddrafting.com info@4ddrafting.com

CLIENT:
KEHAL TOWNHOUSES

SHEET TITLE:
SITE PLAN ZONING ANALYSIS REVIEW

PAGE No:
1
 OF 4

DATE: 11-25-2024
 PROJECT: RM-21-216
 DESIGNED/CHECKED: JM
 DRAWN: MJ

NOTE: BUILDER AND/OR OWNER IS TO VERIFY ALL ON SITE CONDITIONS, DIMENSIONS AND STRUCTURE PRIOR TO CONSTRUCTION. 4TH DIMENSION DESIGN & DRAFTING SERVICES DOES NOT ACCEPT ANY RESPONSIBILITY FOR DISCREPANCIES BETWEEN THESE DRAWINGS AND ON SITE CONDITIONS.

SITE PLAN
 32200 SQ.FT.
 SCALE: 1/16" = 1'-0"