



DEVELOPMENT PERMIT NO. DP23-040
DEVELOPMENT PERMIT AREA C: MIXED USE AND COMMERCIAL

TO: 1369779 BC Ltd
7711 192nd Street
Surrey, BC V4N 4Z8
 (the "Permittee")

1. This Development Permit (the "Permit") is issued subject to compliance with all of the Bylaws of the City of Mission (the "City") applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Permit applies to, and only to, those lands within the City described below and any and all buildings, structures, and other development thereon and shall be binding on a purchaser of the Permittee's interest in the Lands, or portion thereof:

Address	Parcel Identifier and Legal Description
8120 Stave Lake Street	PID: 012-534-234; LOT "A" EXCEPT: PARCEL "ONE" (REFERENCE PLAN 5512), SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110
8092 Stave Lake Street	PID: 012-534-331; LOT "B" EXCEPT: PARCEL "E" (REFERENCE PLAN 3915), SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110
8056 Stave Lake Street	PID: 012-534-242; LOT "C" EXCEPT: PARCEL "E" (REFERENCE PLAN 3915), SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110
8056 Stave Lake Street	PID: 012-415-677; PARCEL "D" (REFERENCE PLAN 3912) LOT 6 SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 1947
8056 Stave Lake Street	PID: 012-534-251; PARCEL "E" (REFERENCE PLAN 3915) LOTS "B" AND "C" SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110

(the "Lands")

ZONING

3. The said lands are zoned Comprehensive Development 58 Zone (CD58) pursuant to "City of Mission Zoning Bylaw 5949-2020" as amended.

DEVELOPMENT PERMIT AREA

4. The above property has been designated as Development Permit Area C Mixed-Use and Commercial in the City of Mission's Official Community Plan.
5. The following Permit works, terms and **conditions** shall apply to the Lands:

- a. Condition of Permit to a lighting plan; and,
- b. Buildings, structures and off-street parking shall be sited and constructed in conformance with the project drawings dated March 19, 2025 attached to this permit as **Schedule A**; and,
- c. Landscaping works shall be established in conformance with the landscaping drawings (labelled as L1, L1.1, L1.2, L1.3, L1 and L2) dated November 18, 2024 attached to this permit as **Schedule B**.

COMPLIANCE

6. Minor changes to the aforesaid drawings that do not affect the intent of this Permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the City (or Director of Development Services or Designate?).
7. The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans (hereinafter referred to as "the Plans"), unless approval in writing has been obtained from the City to deviate from the said Plans.
8. All landscaping works and planting materials shall be provided in accordance with the landscaping plan
9. All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the City.

FEES AND SECURITIES

10. As a condition of the issuance of this Permit, The City will be holding the security set out below to ensure that development, including landscape works, is carried out in accordance with the terms and conditions of this Permit.
11. The condition of the posting of security is that should the Permittee fail to carry out the development hereby authorized, according to the terms and conditions of the permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors.
12. There will be filed accordingly a landscape security in the amount of **\$128,737.95**.
13. The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping works must be installed by the Permittee, and inspected and approved by the City.
14. If the landscaping works are not approved within this six (6) month period, the City has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the City or its agents have the irrevocable right to enter into the property to undertake the required landscaping works for which the security was submitted.
15. Any surplus shall be paid over to the Permittee upon verification by the Director of Development Services (or delegate) that the development has been completed in accordance with the term and conditions of this Permit.

SECURITY RETURN

16. If the landscaping works are approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the City having to draw the security, 90% of the original security will be returned to the Permittee.
17. A holdback of 10% of the original security will be retained until:
 - (a) A final inspection is undertaken within 12 months of the date of the original inspection approval given to the landscaping.
 - (b) If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee.
 - (c) If, after the final inspection, approval of the landscaping is not given, the City has the option of:
 - (i) continuing to renew the security until the required landscaping is approved or
 - (ii) has the option of drawing security and using funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.

PERMIT LIMITATIONS

18. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this Permit shall form a part hereof.
19. This Permit is not a building permit.

ISSUANCE / EXPIRY

20. This Permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

MAYOR

CORPORATE OFFICER

Attachments:

Schedule A: Project Drawings

Schedule B: Landscape Drawings



This drawing has been prepared solely for the use of MERITUS GROUP and there are no representations of any kind made by KP Architecture Ltd. to any party with whom KP Architecture Ltd. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

14	2025/03/19	RE-ISSUED FOR DP
7	2025/02/25	RE-ISSUED FOR DP
6	2024/12/06	RE-ISSUED FOR DP
5	2024/10/18	RE-ISSUED FOR DP
4	2024/10/01	RE-ISSUED FOR DP
3	2024/08/21	RE-ISSUED FOR DP
2	2024/02/26	RE-ISSUED FOR DP
1	2023/01/17	ISSUED FOR REZONE, SUBDIVISION & DP

NO.	DATE YMD	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

SADA VILLAGE - PHASE 1

STAVE LAKE STREET | MISSION | BRITISH COLUMBIA

RE-SUBMISSION FOR DEVELOPMENT PERMIT

SUBMISSION DATE : MARCH 10, 2025

CONSULTANT LIST:

ARCHITECT OF RECORD:

KP ARCHITECTURE LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD, BC, V2S 2E8

LARRY PODHORA ARCHITECT - AIBC

BUILDING DESIGN:

KP ARCHITECTURE LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD, BC, V2S 2E8

P. 604.853.8831

CONTACT: MARK BRONSEMA

LANDSCAPE DESIGN:

AMR SYSTEMS LTD.
200 - 45269 KEITH WILSON RD.
CHILLIWACK, BC, V2R 5S1

P. 604.402.0031

CONTACT: SCOTT WATSON

CIVIL ENGINEERING:

KM CIVIL
400 - 34077 GLADYS AVENUE
ABBOTSFORD, BC, V2S 2E8

P. 604.853.8831

CONTACT: STUART MCGREGOR

GEOTECH:

PHILLIPS ENGINEERING
3637 WEST 39TH AVENUE
VANCOUVER, BC, V6N 3A6

P. 604.716.8881

CONTACT: WARD PHILLIPS

SURVEY:

WADE AND ASSOCIATES LAND SURVEYING LTD.
32559 LOGAN AVE #104,
MISSION, BC V2V 6W8

P. 604.826.9561

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
**8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
COVER SHEET

SCALE

DRAWN	TH, JL
REVIEWED	MB, LP

PROJECT NO. 220315

DRAWING NO.

A-000

PROPERTY INFORMATION:

CIVIC ADDRESS: 8120, 8092 + 8056 STAVE LAKE STREET
PHASE 01: 8120 + 8092 STAVE LAKE STREET

LEGAL ADDRESS: LOT A, PLAN NWP2110, SECTION 27, TWP 17, NWD, EXC. PCL "ONE" (REF PL 5512) (PHASE 01)
LOT B, PLAN NWP2110, SECTION 27, TWP 17, NWD, EXC. PCL "ONE" (REF PL 3915) (PHASE 01)
PARCEL D, LOT 6, PLAN NWP1947, SECTION 27, TWP 17, NWD, REF PL 3912

SITE AREA: 19.36 acres / 7.8 hectares / 843,681 sq. ft. / 78,380 sq. m.

PH1 SITE AREA: 85,172 sq. ft. / 7,912.81 sq. m.

ZONING: COMPREHENSIVE DEVELOPMENT ZONE (CD)

OCP: STAVE HEIGHTS NEIGHBOURHOOD PLAN

OFF-STREET PARKING DESIGN REQUIREMENTS:

STANDARD STALL 2.6m [8'-6"] x 5.5m [18'-0"]
SMALL CAR STALL 2.5m [8'-3"] x 5.0m [16'-5"]
ACCESSIBLE STALL 2.4m [8'-0"] x 5.5m [18'-0"] WITH 1.5m ADJACENT AISLE
LOADING STALL 3.2m [10'-6"] x 9.0m [29'-4"] MIN. 3.5m [11'-6"] VERTICAL CLEAR.

RESIDENTIAL:
ONE BEDROOM VISITOR 1 STALL PER UNIT
0.2 STALLS PER UNIT
TWO BEDROOM VISITOR 1.5 STALLS PER UNIT
0.2 STALLS PER UNIT

DRIVE AISLE:
TWO WAY SURFACE = 23' 00" (7 m)
TWO WAY INT. BUILDING = 21' 04" (6.5 m)

RETAIL: 2 STALLS PER 100 m² (1,076 ft²)

ZONING REVIEW:

SETBACKS:

LEVEL/OUTLINE	CD ZONE BYLAW	SADA VILLAGE PHASE 1 DESIGN	
PARKADE FRONT REAR INTERIOR EXTERIOR	0.75m 0.75m 0.75m 0.75m	8.58' (2.62m) 4.06' (1.24m) 0.92' (0.28m) 6.34' (1.93m)	
	COMMERCIAL FRONT REAR INTERIOR EXTERIOR	3.0m 3.0m 3.0m 3.0m	4.93m (SOUTH) N/A N/A 3.16m (WEST) 3.58m (EAST)
		RESIDENTIAL (EXTERIOR ALONG STAVE LAKE) REAR INTERIOR EXTERIOR	7.5m 3.0m 3.0m 3.0m

BUILDING HEIGHT:
ALLOWED: 13.0 m (42.7 ft)
PROPOSED: 22.5 m (74.0 ft)

GROSS FLOOR AREA:

180 UNITS	AREA	FSR WITH DT	FSR WITHOUT DT
SITE AREA FOR PHASE 1	85,172 S.F.		
GROSS DENSITY TRANSFER 'A'	7,231 S.F.		
GROSS DENSITY TRANSFER 'B'	14,456 S.F.		
TOTAL	106,859 S.F.	106,859 S.F.	
RESIDENTIAL	138,266 S.F.	1.29	1.62
COMMERCIAL	14,526 S.F.	0.13	0.17
RESIDENTIAL & COMMERCIAL	152,792 S.F.	1.42	1.79

APARTMENT UNITS:

BUILDING 1 - RESIDENTIAL	STUDIO THREE BEDROOM TWO BEDROOM ONE BEDROOM + DEN ONE BEDROOM	6 UNITS 5 UNITS 29 UNITS 30 UNITS 20 UNITS
TOTAL UNITS		90 UNITS
BUILDING 2 - RESIDENTIAL	STUDIO THREE BEDROOM TWO BEDROOM ONE BEDROOM + DEN ONE BEDROOM	6 UNITS 5 UNITS 29 UNITS 30 UNITS 20 UNITS
TOTAL UNITS		90 UNITS
TOTAL UNITS:		180 UNITS

INDOOR AMENITIES:

REQUIRED: 30 sq. ft. (2.8 sq. m.) PER UNIT
30 sq. ft. x 180 = 5,400 sq. ft.

PROVIDED: 5,508 sq. ft.

WASTE MANAGEMENT REQUIREMENTS:

WASTE COLLECTION RECEPTACLE SIZES AND SPACE ALLOWANCE:

TYPE	CART SIZE	REQUIRED STORAGE SIZES (STRATA)
WASTE:	VARIABLES	80 L / UNIT / PRIVATE
RECYCLING:	360 - litre Cart / 60cm W / 90cm D = 0.54 sq. m.	80 L / UNIT / WEEK
COMPOST:	240 - litre Cart / 60cm W / 70cm D = 0.42 sq. m.	50 L / UNIT / WEEK
GLASS:	80 - litre Cart / 40cm W / 60cm D = 0.24 sq. m.	17 L / UNIT / BIWEEKLY

WASTE MANEGMENT DESIGN REQUIREMENTS

ENCLOSURE
HEIGHT 2.5 m
AISLE 1.0 m in width

LOADING
TURN RADIUS OF 12.0m
VEHICLE MIN. CLEARANCE OF 4.5m THROUGH ACCESS ROUTE
COLLECTION / LOADING AREA MIN. 7.5m HEIGHT, 6.0m WIDTH, 15.0m LENGTH
NO SLOPES IN ACCESS OF 8% ON ACCESS ROUTE
NO MOVEMENT OF BINS OVER 10m

WASTE COLLECTION MANAGEMENT CALCULATIONS:

WASTE: 180 UNITS x 50 L = 9000 L / 360 L = 25 carts x 0.54 = 13.5 sq. m.
RECYCLING: 180 UNITS x 50 L = 9000 L / 360 L = 25 carts x 0.54 = 13.5 sq. m.
COMPOST: 180 UNITS x 30 L = 5400 L / 240 L = 22.5 carts x 0.42 = 9.45 sq. m.
GLASS: 180 UNITS x 10 L = 1800 L / 80 L = 22.5 carts x 0.24 = 5.4 sq. m.

TOTAL AREA = 41.85 sq. m.

OFF-STREET PARKING CALCULATIONS:

BUILDING 1 - COMMERCIAL	RETAIL	7,423.51 sq. ft. [689.66 sq. m.] = 690 / 100 x 2	= 13.8 stalls
BUILDING 2 - COMMERCIAL	RETAIL	7,424.21 sq. ft. (689.73 sq. m.) = 690 / 100 x 2	= 13.8 stalls
TOTAL COMMERCIAL PARKING:		= 28 [27.6] STALLS REQUIRED	
TOTAL COMMERCIAL PARKING PROVIDED:		= 31 STALLS	
BUILDING 1 + 2 - RESIDENTIAL VISITOR		180 UNITS TOTAL = 180 x 0.2	
TOTAL VISITOR STALLS REQUIRED:		= 36 STALLS	
TOTAL VISITOR STALLS PROVIDED:		= 36 STALLS	
BUILDING 1 - RESIDENTIAL	STUDIO 6 UNITS x 1.0	= 6 STALLS	
	ONE BEDROOM: 46 UNITS x 1.0	= 46 STALLS	
	TWO BEDROOM: 29 UNITS x 1.5	= 43.5 STALLS	
	THREE BEDROOM 5 UNITS x 1.5	= 7.5 STALLS	
BUILDING 2 - RESIDENTIAL	STUDIO 6 UNITS x 1.0	= 6 STALLS	
	ONE BEDROOM: 46 UNITS x 1.0	= 46 STALLS	
	TWO BEDROOM: 29 UNITS x 1.5	= 43.5 STALLS	
	THREE BEDROOM 5 UNITS x 1.5	= 7.5 STALLS	
TOTAL RESIDENT STALLS REQUIRED:		= 206 STALLS	
TOTAL RESIDENT STALLS PROVIDED:		= 206 STALLS	00 MAIN PARKADE 133 PARKADE LEVEL 2

OFF-STREET BICYCLE PARKING DESIGN REQUIREMENTS:

BICYCLE PARKING DIMENSIONS:
STALL SIZE 0.6m [2'-0"] x 1.8m [6'-0"] x 2.0m [6'-6"] HIGH
ADJACENT AISLE 1.5m [5'-0"]

REQUIRED STALL COUNT:
COMMERCIAL LONG TERM STALLS - N/A
SHORT TERM STALLS - 15% OF TOTAL MINIMUM REQUIRED PARKING STALLS
34 x 15% = 5 (5.1) SHORT TERM REQUIRED
6 SHORT TERM PROVIDED

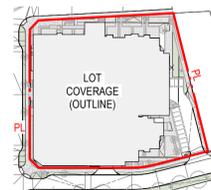
APARTMENT LONG TERM STALLS - 0.5 PER DWELLING UNIT
180 x 0.5 = 90 LONG TERM REQUIRED
90 LONG TERM PROVIDED
SHORT TERM STALLS - 15% OF TOTAL MINIMUM REQUIRED PARKING STALLS
206 x 0.15 = 30.9 [31] SHORT TERM REQUIRED
31 SHORT TERM PROVIDED

OFF-STREET LOADING:

LOADING STALL: WIDTH: 10.5 FT (3.2M) LENGTH: 29.3 FT (9.0M)
AISLE: 11.5 FT (3.5M)
PROVIDED: 1 LOADING AREA (AS PER A-006)

LOT COVERAGE:

PERMITTED: 100.0%
PROPOSED: 70.4% (60,033 SQ. FT. / 85,172 SQ. FT.)



1 : SITE CONTEXT PLAN : NTS

DRAWING INDEX:

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1	2023/01/17	ISSUED FOR REZONE, SUBDIVISION & DP

NO.	DATE YMD	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
**8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
**STATISTICS + PROPERTY
INFORMATION**

SCALE	1" = 160'-0"
DRAWN	TH
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	

A-001



OCP ZONING DESIGNATION
APARTMENT RESIDENTIAL

BUILDING NO. 1
MIXED USE
13,697.63 SQ. FT. (4,175.04 SQ. M.)
COMMERCIAL SLAB EL. 100' / 113.00 GEO.

BUILDING NO. 2
MIXED USE
13,697.63 sq. ft. (1,272.55 sq. m.)
COMMERCIAL SLAB EL. 100' / 113.00 GEO.

LOWER PARKING (COMMERCIAL)
ASPHALT

UPPER PARKING (VISITOR)
ASPHALT

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PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
SITE PLAN

SCALE	1/16" = 1'-0"
DRAWN	TH
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	

A-003





STAVE LAKE ST. STREETSCAPE
SCALE: 1" = 20' - 00"



HANSEN AVE. STREETSCAPE
SCALE: 1" = 20' - 00"



GIBBS ST. STREETSCAPE
SCALE: 1" = 20' - 00"

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ISSUES AND REVISIONS

SEAL

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**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
**STREETSCAPE
ELEVATIONS**

SCALE	1" = 20'-0"
DRAWN	Tristan Hanscomb
REVIEWED	Mark Bronsema, Larry Pohdora
PROJECT NO.	220315
DRAWING NO.	A-007

EXTERIOR - PROJECT MATERIAL BOARD



1. FIBRE CEMENT - SHINGLES
MANUFACTURER: JAMES HARDI
FINISH: STRAIGHT EDGE PANEL
COLOUR: MONTEREY TAUPE
NOTE: OR EQUIVALENT



6. GLAZING
MANUFACTURER: TBD
FINISH: CLEAR
COLOUR: N/A
NOTES: N/A



11. WINDOWS - VINYL
MANUFACTURER: TBD
PRODUCT: PER PLANS + ELEVATIONS
COLOUR: BLACK
NOTES: OR EQUIVELANT



2. STONE VANEER
MANUFACTURER: ELDORADO STONE
FINISH: CLIFFSTONE
COLOUR: BANFF SPRINGS
NOTES: OR SIMILAR



7. ALUNIMUM FRAME + GLASS GUARDRAIL
MANUFACTURER: TBD
FINISH: CLEAR - SAFETY
COLOUR: BLACK ALUMINUM
NOTES: N/A



3. CONCRETE
FINISH: BOARD FORM
COLOUR: NATURAL / SEALED
NOTES: N/A



8. SPANDREL METAL PANEL
MANUFACTURER: VITRUM GLASS GROUP
FINISH: OPACI - COAT
COLOUR: ANCHOR GRAY
NOTES: OR EQUIVALENT ALTERNATIVE



4. FIBRE CEMENT LAP SIDING
MANUFACTURER: JAMES HARDIE
FINISH: HARDIEPLANK LAP SIDING
COLOUR: COBBLE STONE
NOTES: OR EQUIVALENT



9. BATTEN PRIVACY SCREEN
MANUFACTURER: KNOTWOOD
FINISH: PRE-FINISHED
COLOUR: N/A
NOTES: CAN BE REPLACED W/ WOOD ALTERATIVE



5. GLAZING FRAME
MANUFACTURER: TBD
FINISH: ANNODIZED ALLUMINUM
COLOUR: BLACK
NOTES: N/A



10. ALUMINUM METAL PARAPET CAP
MANUFACTURER: TBD
FINISH: N/A
COLOUR: BLACK
NOTES: N/A

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**8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
SITE MATERIALS BOARD

SCALE	
DRAWN	Tristan Hanscomb
REVIEWED	Mark Bronsema, Larry Pohdora
PROJECT NO.	220315
DRAWING NO.	

A-009



BUILDING 2 RESIDENTIAL ENTRANCE



WEST - STAVE LAKE RD. ELEVATION



SOUTH - HANSEN DR. PERSPECTIVE



WEST - STAVE LAKE ROAD PERSPECTIVE

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STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
DETAILED RENDER VIEW 1

SCALE	
DRAWN	Tristan Hanscomb
REVIEWED	Mark Bronsema, Larry Pohdora
PROJECT NO.	220315
DRAWING NO.	

A-010



RESIDENTIAL ENTRANCE / NORTH RETAINING WALL VIEW



SOUTHWEST PLAZA ENTRANCE VIEW



NORTH PERSPECTIVE FROM PROPERTY LINE AND RETAINING WALL

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NO.	DATE YMD	DESCRIPTION
7	2025/02/25	RE-ISSUED FOR DP
4	2024/10/01	RE-ISSUED FOR DP
3	2024/08/21	RE-ISSUED FOR DP
2	2024/02/26	RE-ISSUED FOR DP
1	2023/01/17	ISSUED FOR REZONE, SUBDIVISION & DP

ISSUES AND REVISIONS

SEAL

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
DETAILED RENDER VIEW 2

SCALE

DRAWN Tristan Hanscomb

REVIEWED Mark Bronsema, Larry Pohdora

PROJECT NO. 220315

DRAWING NO.

A-011

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NO.	DATE	YMD	DESCRIPTION
14	2025/03/19		RE-ISSUED FOR DP
7	2025/02/25		RE-ISSUED FOR DP

ISSUES AND REVISIONS

SEAL

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

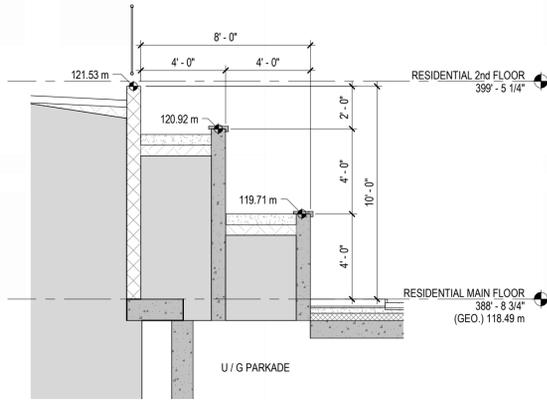
PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
**WALL SECTIONS -
RETAINING WALLS**

SCALE	As indicated
DRAWN	
REVIEWED	
PROJECT NO.	220315
DRAWING NO.	

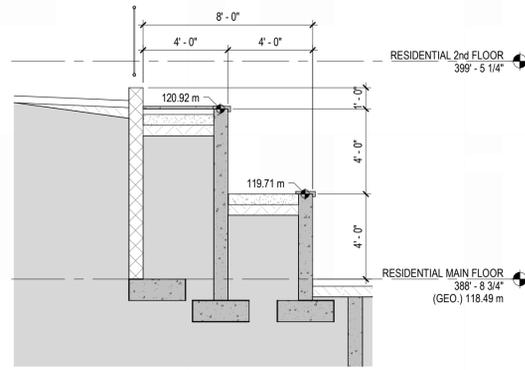
A-014

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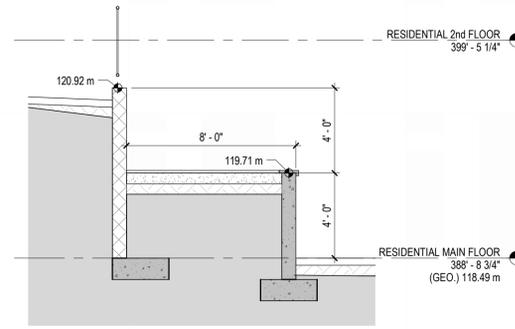
1 NORTH PL - RETAINING WALL SECTION 1

SCALE: 1/4" = 1'-0"



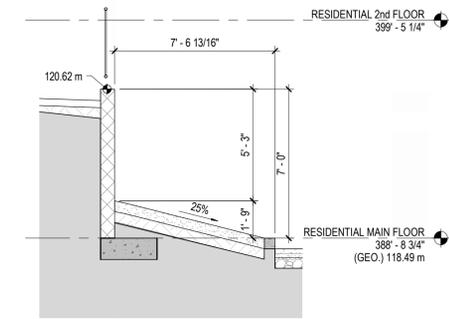
2 NORTH PL - RETAINING WALL SECTION 2

SCALE: 1/4" = 1'-0"



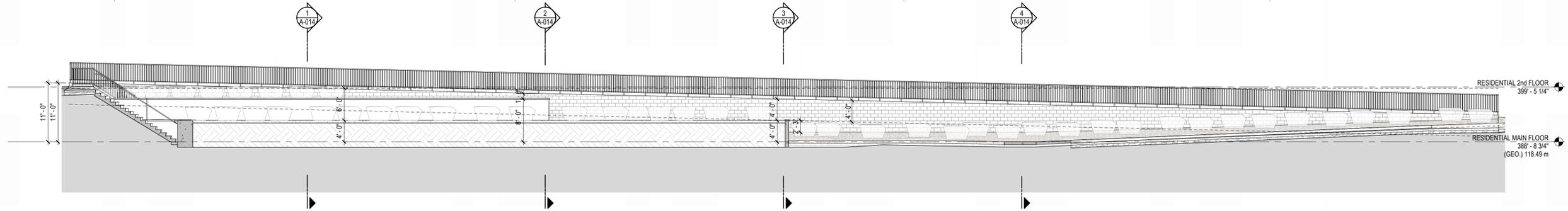
3 NORTH PL - RETAINING WALL SECTION 3

SCALE: 1/4" = 1'-0"



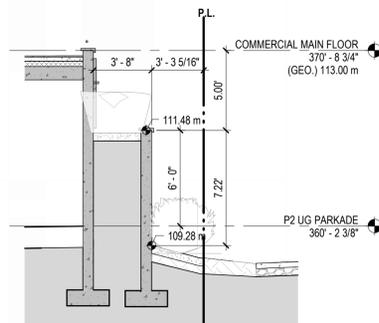
4 NORTH PL - RETAINING WALL SECTION 4

SCALE: 1/4" = 1'-0"



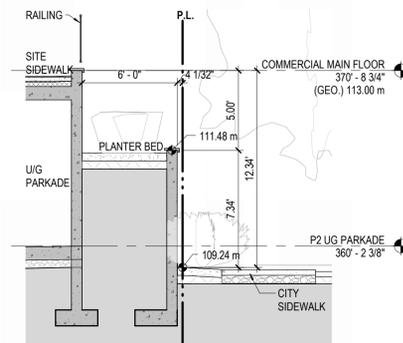
5 NORTH RETAINING WALL - ELEVATION

SCALE: 1" = 10'-0"



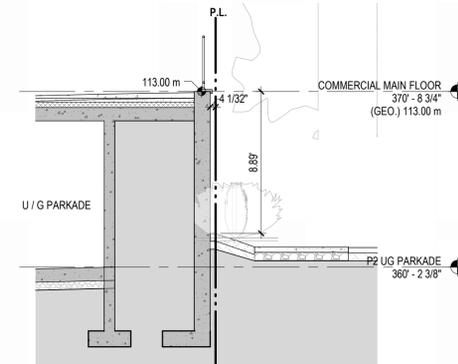
6 SOUTH / EAST CORNER - RETAINING WALL SECTION 6

SCALE: 3/16" = 1'-0"



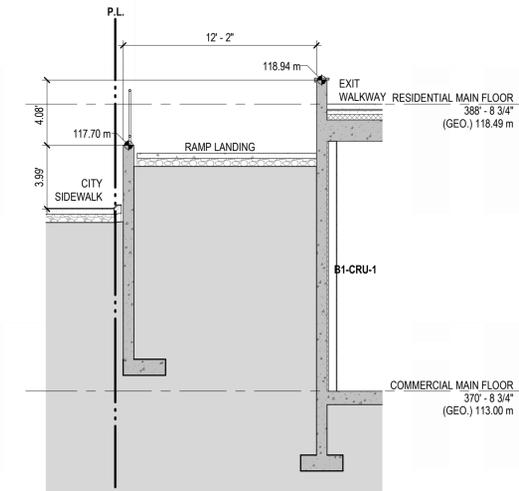
7 SOUTH / EAST CORNER - RETAINING WALL SECTION 7

SCALE: 3/16" = 1'-0"



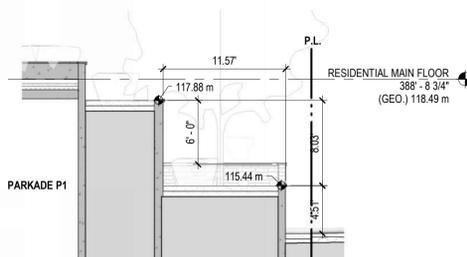
8 SOUTH STAIR WALL - RETAINING WALL SECTION 8

SCALE: 3/16" = 1'-0"



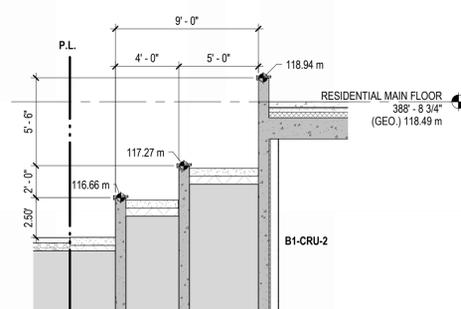
9 WEST RAMP - RETAINING WALL SECTION 9

SCALE: 3/16" = 1'-0"



10 EAST PLANTER - RETAINING WALL SECTION 10

SCALE: 1/8" = 1'-0"



11 WEST PLANTER - RETAINING WALL SECTION 11

SCALE: 3/16" = 1'-0"

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14	2025/03/19	RE-ISSUED FOR DP
7	2025/02/25	RE-ISSUED FOR DP
6	2024/12/06	RE-ISSUED FOR DP
5	2024/10/18	RE-ISSUED FOR DP
4	2024/10/01	RE-ISSUED FOR DP
3	2024/08/21	RE-ISSUED FOR DP
2	2024/02/26	RE-ISSUED FOR DP
1	2023/01/17	ISSUED FOR REZONE, SUBDIVISION & DP

NO.	DATE	YMD	DESCRIPTION
ISSUES AND REVISIONS			
SEAL			

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

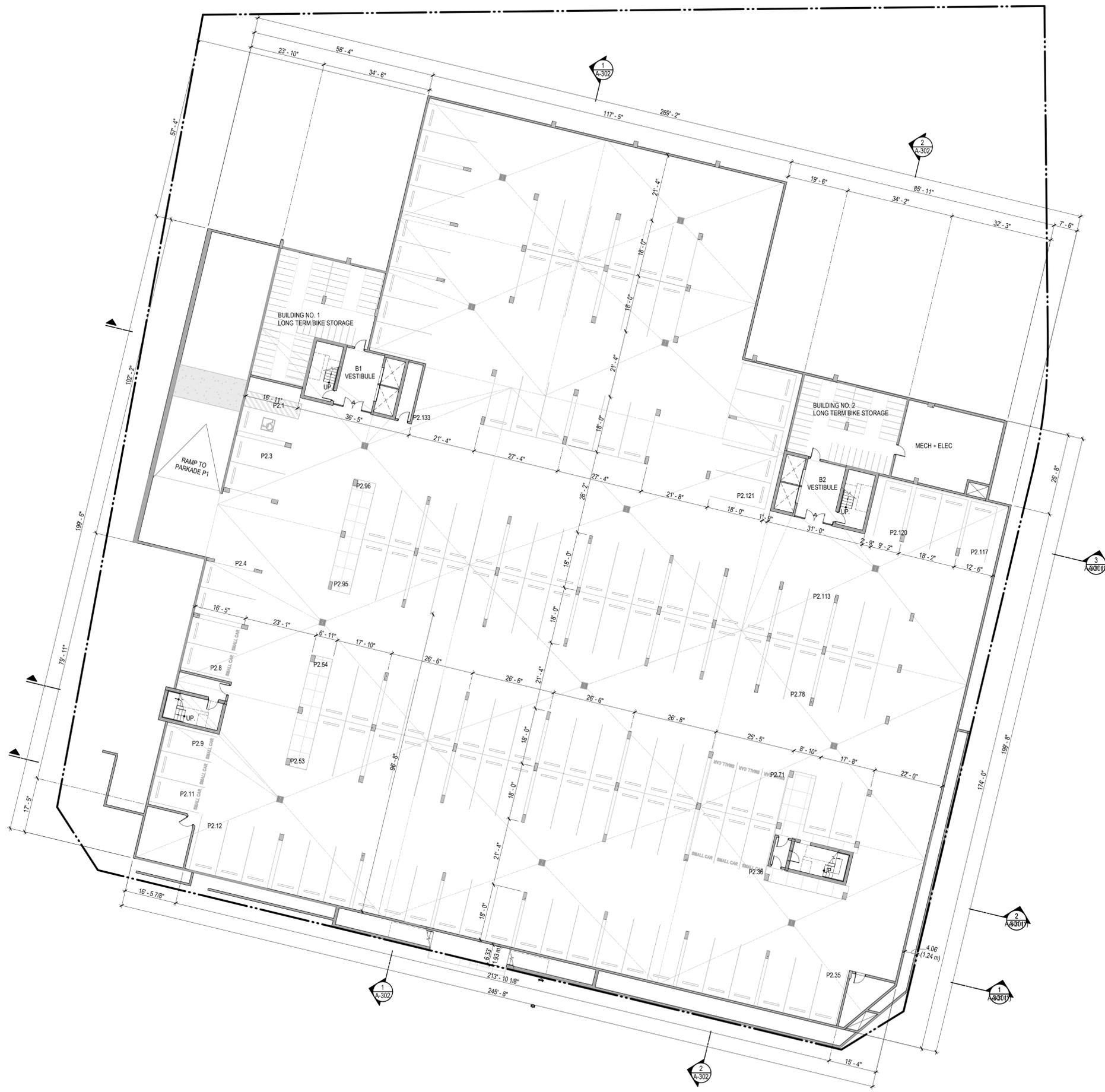
DRAWING TITLE
PARKADE 2 FLOOR PLAN

SCALE	1/16" = 1'-0"
DRAWN	TH, RG
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	



PROJECT NORTH

A-101



ARD/ID Title Block: R18 Rev. 1/18/18, Copyright © 2018
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14	2025/03/19	RE-ISSUED FOR DP
7	2025/02/25	RE-ISSUED FOR DP
6	2024/12/06	RE-ISSUED FOR DP
5	2024/10/18	RE-ISSUED FOR DP
4	2024/10/01	RE-ISSUED FOR DP
3	2024/08/21	RE-ISSUED FOR DP
2	2024/02/26	RE-ISSUED FOR DP
1	2023/01/17	ISSUED FOR REZONE, SUBDIVISION & DP

NO.	DATE	YMD	DESCRIPTION
ISSUES AND REVISIONS			
SEAL			

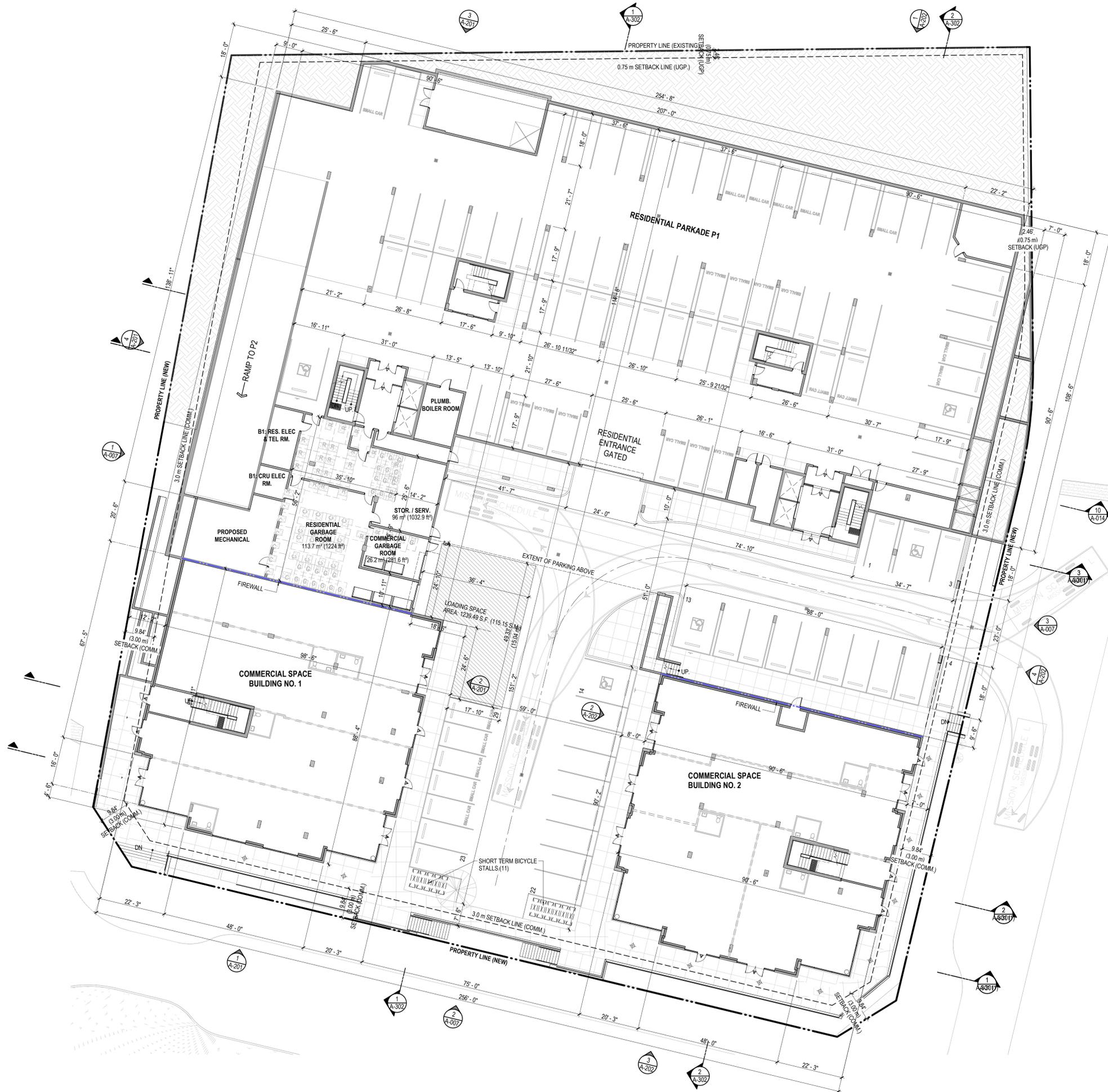
PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
**COMMERCIAL GROUND
FLOOR PLAN**

SCALE	1/16" = 1'-0"
DRAWN	TH, RG
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	

A-102



ARJ/D/1 The Block - R18 Rev. 1/1/18 Copyright © 2018
 2025/03/19 4:59:58 PM
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MATERIAL LEGEND

1. SHINGLES
2. STONE VANEER
3. CONCRETE - BOARD FORM
4. HARDY BOARD SIDING
5. GLAZING FRAME - BLACK
6. BLACK STUCCO
7. GLASS GUARDRAIL
8. SPANDREL - BLACK ALUMINUM
9. TIMBER PRIVACY SCREEN
10. ALUMINUM PARAPET CAP

SEE DWG. A-007 PROJECT MATERIAL BOARD FOR DETAILS

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NO.	DATE	YMD	DESCRIPTION
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7	2025/02/25		RE-ISSUED FOR DP
4	2024/10/01		RE-ISSUED FOR DP
3	2024/08/21		RE-ISSUED FOR DP
2	2024/02/26		RE-ISSUED FOR DP
1	2023/01/17		ISSUED FOR REZONE, SUBDIVISION & DP

ISSUES AND REVISIONS

SEAL

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
**8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
BUILDING 1 ELEVATIONS

SCALE 1/16" = 1'-0"
DRAWN TH, RG
REVIEWED MB, LP
PROJECT NO. 220315
DRAWING NO.

A-201



MATERIAL LEGEND

1. SHINGLES
2. STONE VANEER
3. CONCRETE - BOARD FORM
4. HARDY BOARD SIDING
5. GLAZING FRAME - BLACK
6. BLACK STUCCO
7. GLASS GUARDRAIL
8. SPANDREL - BLACK ALUMINUM
9. TIMBER PRIVACY SCREEN
10. ALUMINUM PARAPET CAP

SEE DWG. A-007 PROJECT MATERIAL BOARD FOR DETAILS

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2	2024/02/26		RE-ISSUED FOR DP
1	2023/01/17		ISSUED FOR REZONE, SUBDIVISION & DP

ISSUES AND REVISIONS

SEAL

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
BUILDING 2 ELEVATIONS

SCALE 1/16" = 1'-0"

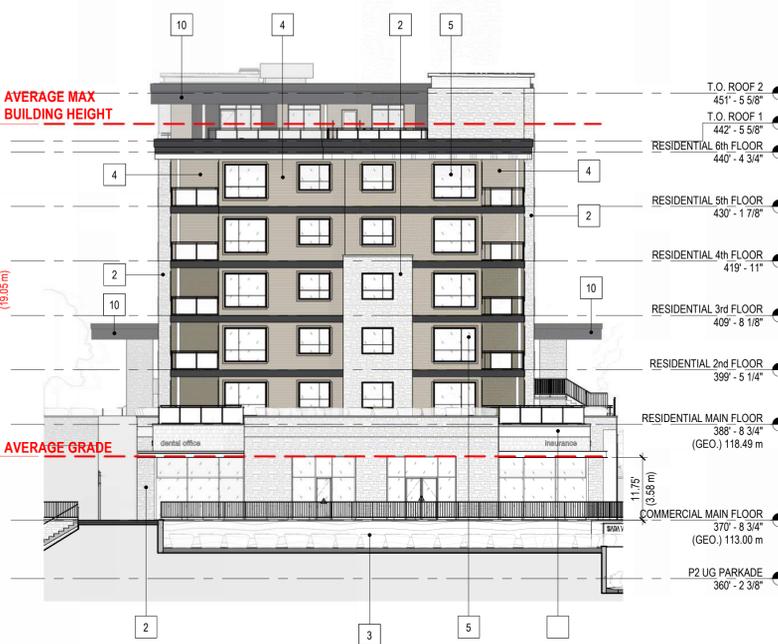
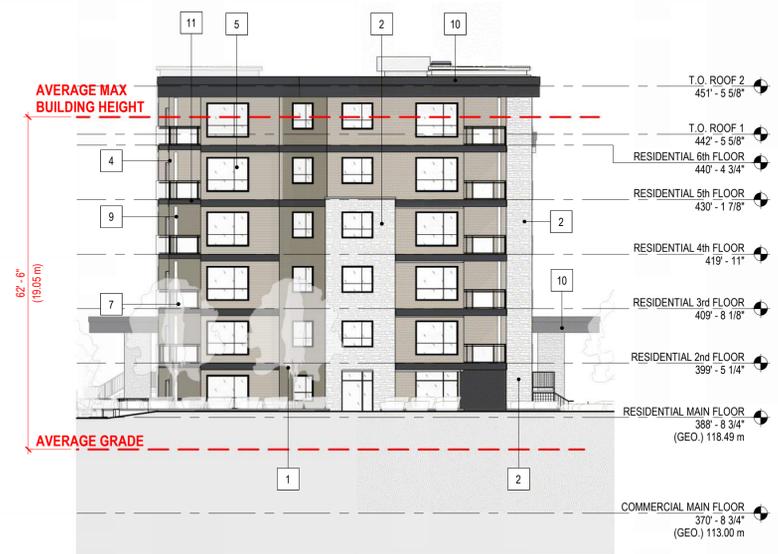
DRAWN TH, RG

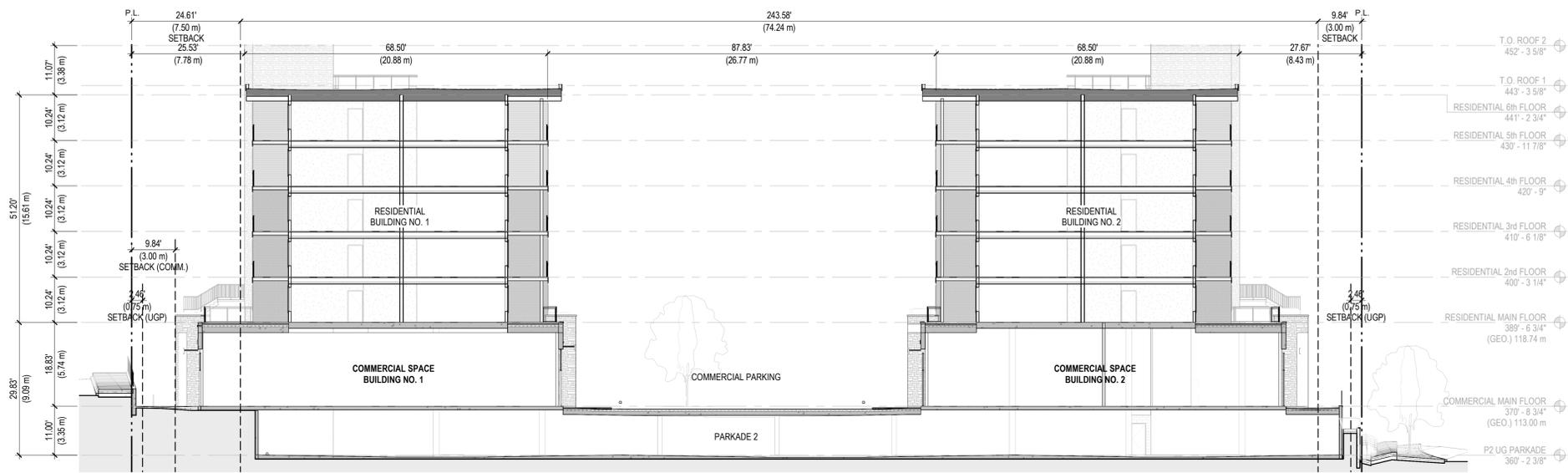
REVIEWED MB, LP

PROJECT NO. 220315

DRAWING NO.

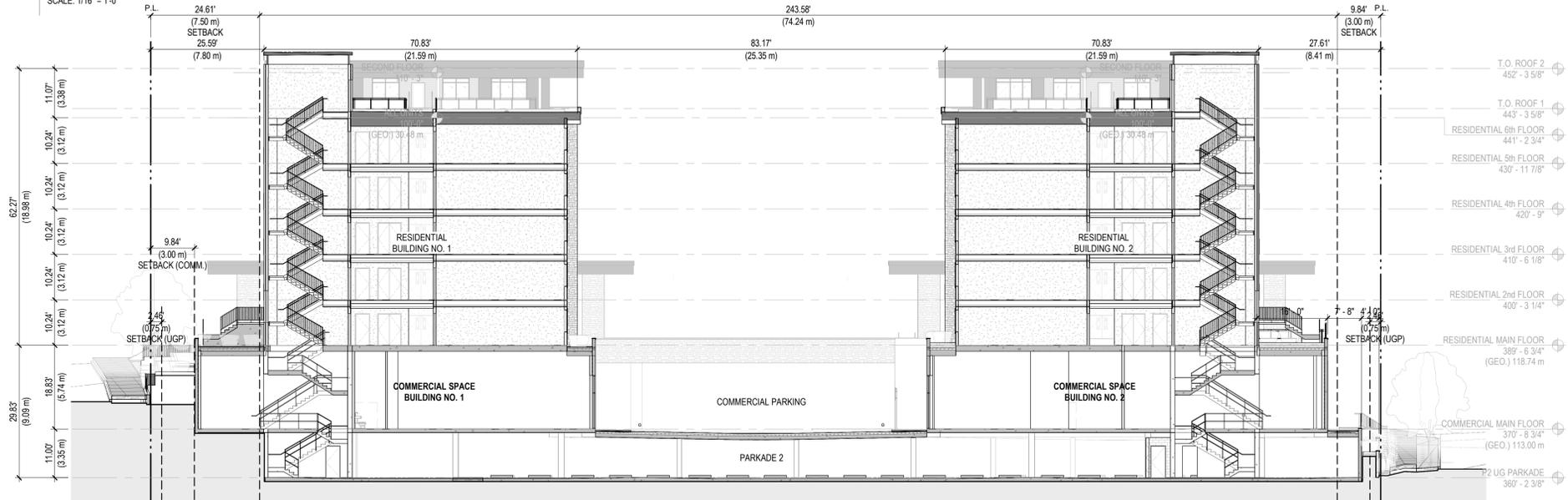
A-202





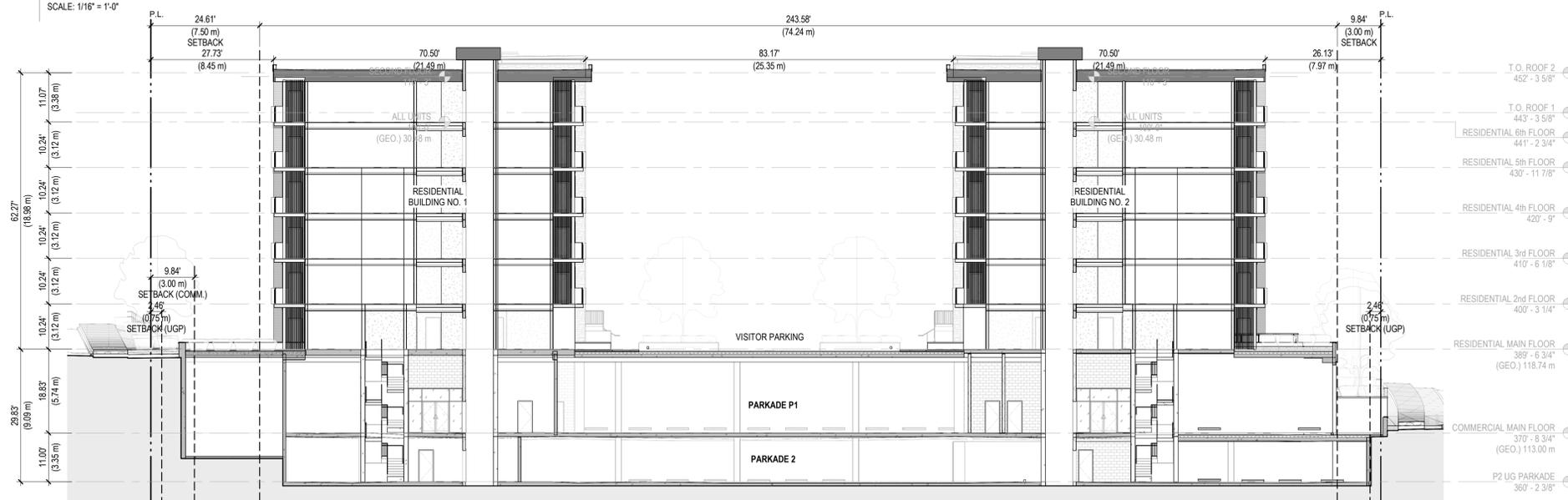
1 EAST / WEST SECTION 1

SCALE: 1/16" = 1'-0"



2 EAST / WEST SECTION 2

SCALE: 1/16" = 1'-0"



3 EAST / WEST SECTION 3

SCALE: 1/16" = 1'-0"

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3	2024/08/21		RE-ISSUED FOR DP
2	2024/02/26		RE-ISSUED FOR DP
1	2023/01/17		ISSUED FOR REZONE, SUBDIVISION & DP

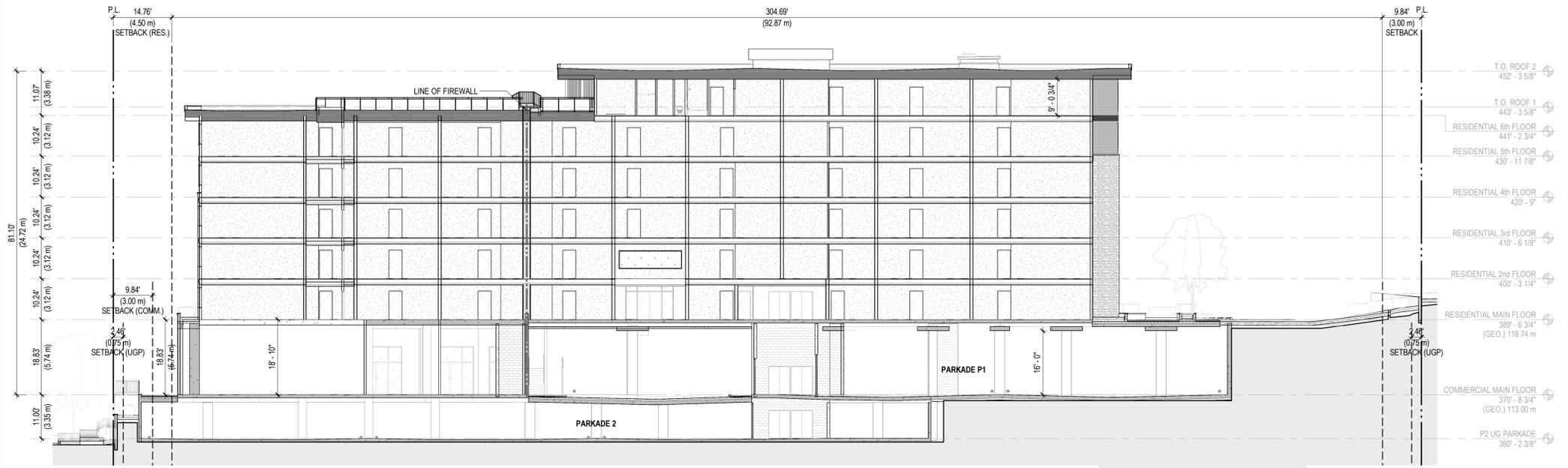
ISSUES AND REVISIONS
 SEAL

PROJECT NAME
**SADA VILLAGE PH1
 MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION BC.**

DRAWING TITLE
**SITE SECTIONS
 EAST/WEST**

SCALE	1/16" = 1'-0"
DRAWN	TH, RG
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	



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7	2025/02/25		RE-ISSUED FOR DP
4	2024/10/01		RE-ISSUED FOR DP
3	2024/08/21		RE-ISSUED FOR DP
2	2024/02/26		RE-ISSUED FOR DP
1	2023/01/17		ISSUED FOR REZONE, SUBDIVISION & DP

ISSUES AND REVISIONS

SEAL

PROJECT NAME
**SADA VILLAGE PH1
MIXED-USE, 180 UNIT DEV.**

PROJECT ADDRESS
8120, 8092, + 8056
STAVE LAKE STREET, MISSION BC.

DRAWING TITLE
**SITE SECTIONS
NORTH/SOUTH**

SCALE	1/16" = 1'-0"
DRAWN	TH, RG
REVIEWED	MB, LP
PROJECT NO.	220315
DRAWING NO.	

LEGEND

- TURF
- PLANTING MEDIUM
- CONCRETE SIDEWALK
- HERRINGBONE PAVERS
- CONCRETE WALL RE: ARCH
- LANDSCAPE BOULDERS
- SETBACK LINE
- PROPERTY LINE
- BIKE RACK

4	25/03/24	ISSUED FOR RE-DP
3	25/01/23	ISSUED FOR COORDINATION
2	24/10/02	ISSUED FOR COMMENTS RESPONSE
1	24/09/09	ISSUED FOR DP
NO.	DATE: (y/m/d)	DESCRIPTION:
ISSUES & REVISIONS:		

SEAL:

NORTH ARROW:



PROJECT NAME:

SADA VILLAGE PHASE 1

PROJECT ADDRESS:

**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION, BC**

DRAWING TITLE:

LANDSCAPE PLAN

SCALE: 1:200

DRAWN: XX

CHECKED: SW

PROJECT NO: XX-XXX

START DATE: 2024.11.18

DRAWING NO:

L1

FUTURE LANDSCAPE LIGHTING, IF INCLUDED, SHALL BE
 DOWN-LIGHTING OR NON-GLARE TYPE



STAVE LAKE STREET

PROPERTY LINE

PROPERTY LINE (EXISTING)

LANDSCAPE BOULDERS 2/L2

CONCRETE PLANTER RE: ARCH

PAVERS 1/L2

PAVERS 1/L2

PROPOSED BUILDING 1

PAVERS 1/L2

UPPER PARKING (VISITOR) ASPHALT

ENLARGEMENT 2 SHEET L1.2

ENLARGEMENT 3 SHEET L1.3

LEGEND

- TURF
- PLANTING MEDIUM
- CONCRETE SIDEWALK
- HERRINGBONE PAVERS
- CONCRETE WALL RE: ARCH
- LANDSCAPE BOULDERS
- SETBACK LINE
- PROPERTY LINE
- BIKE RACK

4 25/03/24 ISSUED FOR RE-DP
 3 25/01/23 ISSUED FOR COORDINATION
 2 24/10/02 ISSUED FOR COMMENTS RESPONSE
 1 24/09/09 ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:
 ISSUES & REVISIONS:

SEAL:

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	6	<i>Cercis canadensis</i> 'Ace of Hearts'	Eastern Redbud	6cm Cal.	As Shown	W.B.
	6	<i>Acer Griseum</i>	Paperbark Maple	6cm Cal.	As Shown	W.B.
	10	<i>Ptelea trifoliata</i>	Hoptree	6cm Cal.	As Shown	W.B.
	3	<i>Carpinus Caroliniana</i>	American Hornbeam	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	9	<i>Chamaecyparis pisifera</i> 'Soft Serve'	Sawara Cypress	3.5m ht.	As Shown	W.B.
	3	<i>Tsuga Diversifolia</i>	Northern Japanese Hemlock	3.5m ht.	As Shown	W.B.
SHRUBS						
	11	<i>Syringia Vulgaris</i>	Common Lilac	50cm ht.	As Shown	#3 Pot
	28	<i>Sambucus nigra</i> 'Gerda'	Black Elderberry 'Gerda'	1.0m ht.	As Shown	#5 Pot
	5	<i>Picea pungens</i> 'Globosa'	Colorado Spruce	90cm ht.	As Shown	B&B
	24	<i>Chamaecyparis pisifera</i> 'Snow'	Snow False Cypress	90cm ht.	As Shown	B&B
	15	<i>Hydrangea Arborescens</i> Paniculata	Panicle Hydrangea	90cm ht.	As Shown	#5 Pot
	25	<i>Podocarpus Pringlei</i> Dwarf	Japanese Yew	1m ht.	As Shown	B&B
	62	<i>Juniperus Procumbens</i>	'Nana' Garden Juniper	30cm ht.	As Shown	#2 Pot
	120	<i>Euonymus Fortunei</i>	Gold Splash Wintercreeper	60cm ht.	As Shown	#5 Pot
	22	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsei Dogwood	60cm ht.	As Shown	#3 Pot
	102	<i>Potentilla Fruticosa</i>	Shrubby Cinquefoil	60cm ht.	As Shown	B & B
	151	<i>Buxus sempervirens</i> 'Suffruticosa'	Boxwood	60cm ht.	As Shown	#3 Pot
	51	<i>Pinus Mugo</i> 'Ophir'	Dwarf Mountain Pine	60cm ht.	As Shown	#3 Pot
	85	<i>Nandina domestica</i> 'Moon Bay'	Heavenly Bamboo	60cm ht.	As Shown	#3 Pot
	57	<i>Sarcococca Confusa</i> Sweet Box	Sweet Box	1m ht.	As Shown	#5 Pot
	56	<i>Abelia x grandiflora</i>	Glossy Abelia	90cm ht.	As Shown	#5 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	99	<i>Leucanthemum x Superbum</i> 'Becky'	Monroe's White Lilyturf	1 Gal.	As Shown	Potted
	89	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	1 Gal.	As Shown	Potted
	132	<i>Erica x darleyensis</i> 'Kramer's Rote'	Darley Heath	1 Gal.	As Shown	Potted
	83	<i>Begonia</i> 'Garden Angel Plum'	Hardy Begonia	1 Gal.	As Shown	Potted
	123	<i>Liriope muscari</i> 'Gold Band'	Golden Lilyturf	1 Gal.	As Shown	Potted
	171	<i>Arendsii</i> Hybrid	Astilbe Bridal Veil	1 Gal.	As Shown	Potted
	229	<i>Polystichum Munitum</i>	Western Swordfern	1 Gal.	As Shown	Potted
	83	<i>Hosta</i> 'White Feather'	Plantain Lily	1 Gal.	As Shown	Potted



PROJECT NAME:
SADA VILLAGE PHASE 1

PROJECT ADDRESS:
8120, 8092, + 8056 STAVE LAKE STREET, MISSION, BC

DRAWING TITLE:
ENLARGEMENT PLAN 1

SCALE: 1:200
 DRAWN: XX
 CHECKED: SW
 PROJECT NO: XX-XXX
 START DATE: 2024.11.18
 DRAWING NO:



L1.1

LEGEND

- TURF
- PLANTING MEDIUM
- CONCRETE SIDEWALK
- HERRINGBONE PAVERS
- CONCRETE WALL RE: ARCH
- LANDSCAPE BOULDERS
- SETBACK LINE
- PROPERTY LINE
- BIKE RACK

- 4 25/03/24 ISSUED FOR RE-DP
 - 3 25/01/23 ISSUED FOR COORDINATION
 - 2 24/10/02 ISSUED FOR COMMENTS RESPONSE
 - 1 24/09/09 ISSUED FOR DP
- NO. DATE: (y/m/d) DESCRIPTION:
 ISSUES & REVISIONS:

SEAL:

NORTH ARROW:

PROJECT NAME:

SADA VILLAGE PHASE 1

PROJECT ADDRESS:
**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION, BC**

DRAWING TITLE:

ENLARGEMENT PLAN 2

SCALE: 1:200

DRAWN: XX

CHECKED: SW

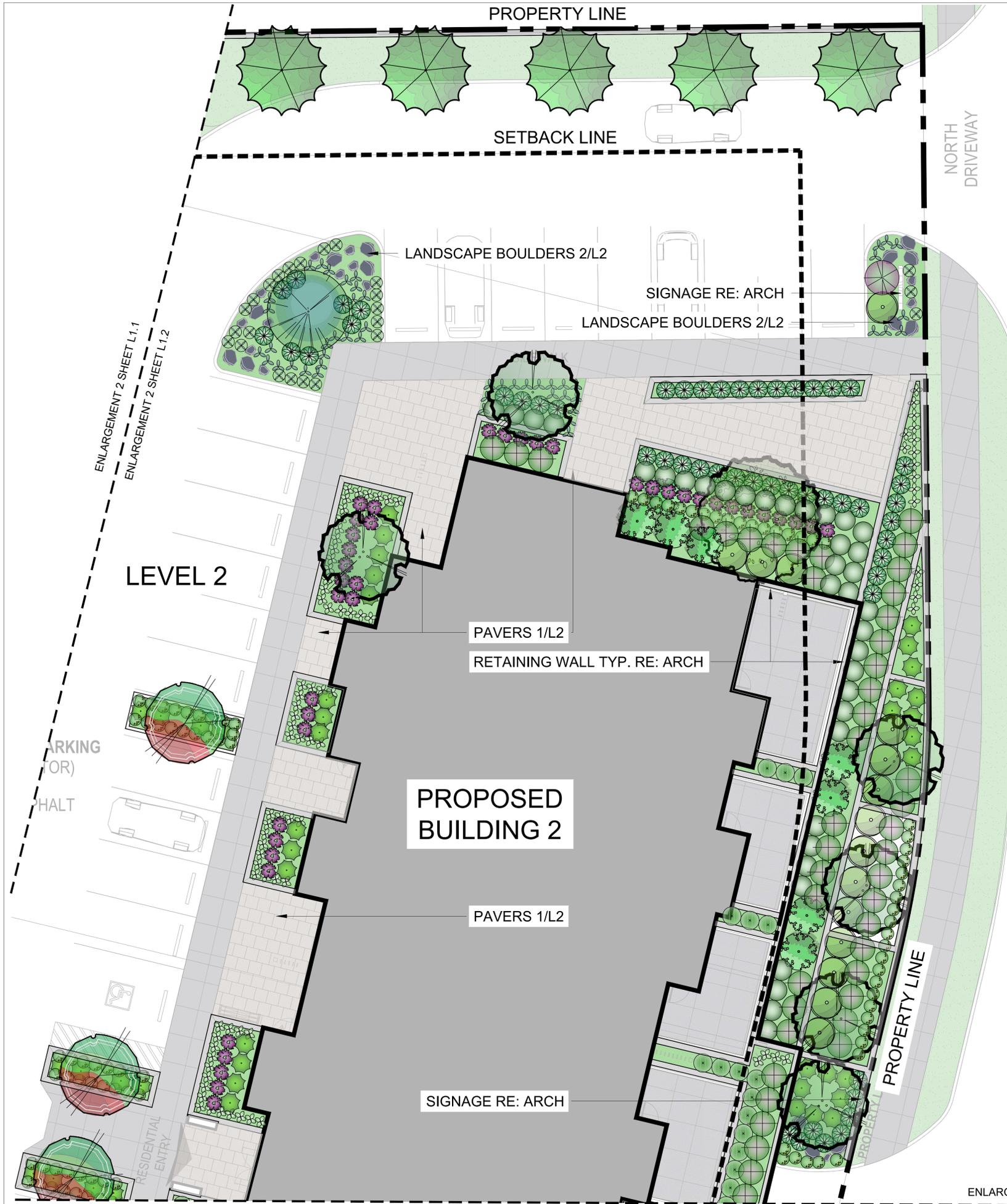
PROJECT NO: XX-XXX

START DATE: 2024.11.18

DRAWING NO:

L1.2

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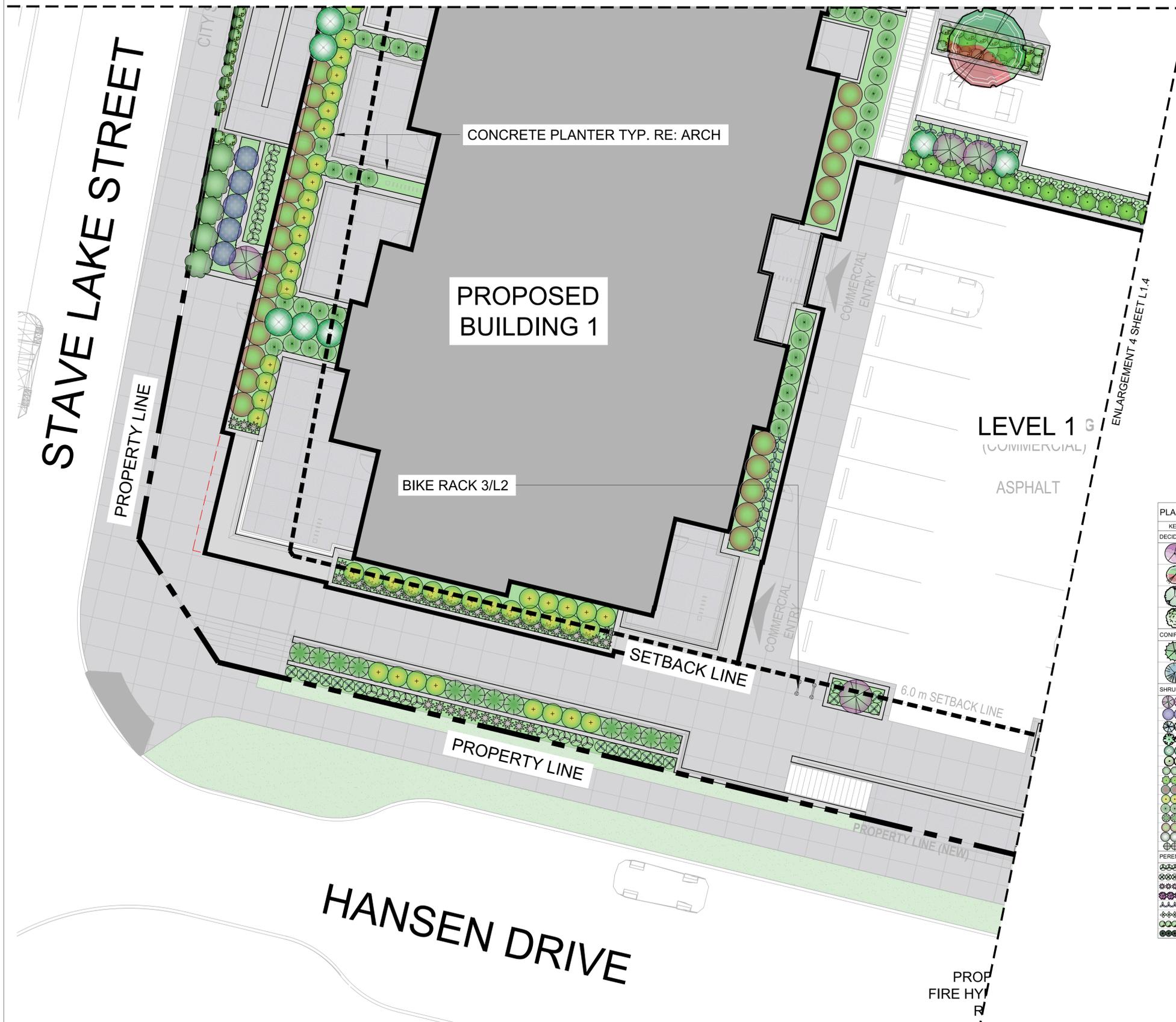
GIBBS STREET

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	6	<i>Cercis canadensis</i> 'Ace of Hearts'	Eastern Redbud	6cm Cal.	As Shown	W.B.
	6	<i>Acer Griseum</i>	Paperbark Maple	6cm Cal.	As Shown	W.B.
	10	<i>Ptelea trifoliata</i>	Hoptree	6cm Cal.	As Shown	W.B.
	3	<i>Carpinus Caroliniana</i>	American Hornbeam	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	9	<i>Chamaecyparis pisifera</i> 'Soft Serve'	Sawara Cypress	3.5m ht.	As Shown	W.B.
	3	<i>Tsuga Diversifolia</i>	Northern Japanese Hemlock	3.5m ht.	As Shown	W.B.
SHRUBS						
	11	<i>Syringia Vulgaris</i>	Common Lilac	50cm ht.	As Shown	#3 Pot
	28	<i>Sambucus nigra</i> 'Gerda'	Black Elderberry 'Gerda'	1.0m ht.	As Shown	#5 Pot
	5	<i>Picea pungens</i> 'Globosa'	Colorado Spruce	90cm ht.	As Shown	B&B
	24	<i>Chamaecyparis pisifera</i> 'Snow'	Snow False Cypress	90cm ht.	As Shown	B&B
	15	<i>Hydrangea Arborescens</i> 'Paniculata'	Panicle Hydrangea	90cm ht.	As Shown	#5 Pot
	25	<i>Podocarpus Pringlei</i> 'Dwarf'	Japanese Yew	1m ht.	As Shown	B&B
	62	<i>Juniperus Procumbens</i>	'Nana' Garden Juniper	30cm ht.	As Shown	#2 Pot
	120	<i>Euonymus Fortunei</i>	Gold Splash Wintercreeper	60cm ht.	As Shown	#5 Pot
	22	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood	60cm ht.	As Shown	#3 Pot
	102	<i>Potentilla Fruticosa</i>	Shrubby Cinquefoil	60cm ht.	As Shown	B & B
	151	<i>Buxus sempervirens</i> 'Suffruticosa'	Boxwood	60cm ht.	As Shown	#3 Pot
	51	<i>Pinus Mugo</i> 'Ophir'	Dwarf Mountain Pine	60cm ht.	As Shown	#3 Pot
	85	<i>Nandina domestica</i> 'Moon Bay'	Heavenly Bamboo	60cm ht.	As Shown	#3 Pot
	57	<i>Sarcococca Confusa</i> 'Sweet Box'	Sweet Box	1m ht.	As Shown	#5 Pot
	56	<i>Abelia x grandiflora</i>	Glossy Abelia	90cm ht.	As Shown	#5 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	99	<i>Leucanthemum x Superbum</i> 'Becky'	Monroe's White Lilyturf	1 Gal.	As Shown	Potted
	89	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	1 Gal.	As Shown	Potted
	132	<i>Erica x darleyensis</i> 'Kramer's Role'	Darley Heath	1 Gal.	As Shown	Potted
	83	<i>Begonia</i> 'Garden Angel Plum'	Hardy Begonia	1 Gal.	As Shown	Potted
	123	<i>Liriope muscari</i> 'Gold Band'	Golden Lilyturf	1 Gal.	As Shown	Potted
	171	<i>Arendsil Hybrid</i>	Astilbe Bridal Veil	1 Gal.	As Shown	Potted
	229	<i>Polystichum Munitum</i>	Western Swordfern	1 Gal.	As Shown	Potted
	83	<i>Hosta</i> 'White Feather'	Plantain Lily	1 Gal.	As Shown	Potted



ENLARGEMENT 2 SHEET L1.2
 ENLARGEMENT 4 SHEET L1.4

ENLARGEMENT 1 SHEET L1.1



LEGEND

- TURF
- PLANTING MEDIUM
- CONCRETE SIDEWALK
- HERRINGBONE PAVERS
- CONCRETE WALL RE: ARCH
- LANDSCAPE BOULDERS
- SETBACK LINE
- PROPERTY LINE
- BIKE RACK

4 25/03/24 ISSUED FOR RE-DP
 3 25/01/23 ISSUED FOR COORDINATION
 2 24/10/02 ISSUED FOR COMMENTS RESPONSE
 1 24/09/09 ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:
 ISSUES & REVISIONS:

SEAL:

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	6	<i>Cercis canadensis</i> 'Ace of Hearts'	Eastern Redbud	6cm Cal.	As Shown	W.B.
	6	<i>Acer Griseum</i>	Paperbark Maple	6cm Cal.	As Shown	W.B.
	10	<i>Ptelea trifoliata</i>	Hoptree	6cm Cal.	As Shown	W.B.
	3	<i>Carpinus Caroliniana</i>	American Hornbeam	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	9	<i>Chamaecyparis pisifera</i> 'Soft Serve'	Sawara Cypress	3.5m ht.	As Shown	W.B.
	3	<i>Tsuga Diversifolia</i>	Northern Japanese Hemlock	3.5m ht.	As Shown	W.B.
SHRUBS						
	11	<i>Syringia Vulgaris</i>	Common Lilac	50cm ht.	As Shown	#3 Pot
	28	<i>Sambucus nigra</i> 'Gerda'	Black Elderberry 'Gerda'	1.0m ht.	As Shown	#5 Pot
	5	<i>Picea pungens</i> 'Globosa'	Colorado Spruce	90cm ht.	As Shown	B&B
	24	<i>Chamaecyparis pisifera</i> 'Snow'	Snow False Cypress	90cm ht.	As Shown	B&B
	15	<i>Hydrangea Arborescens</i> 'Paniculata'	Panicle Hydrangea	90cm ht.	As Shown	#5 Pot
	25	<i>Podocarpus Pringlei</i> 'Dwarf'	Japanese Yew	1m ht.	As Shown	B&B
	62	<i>Juniperus Procumbens</i>	'Nana' Garden Juniper	30cm ht.	As Shown	#2 Pot
	120	<i>Euonymus Fortunei</i>	Gold Splash Wintercreeper	60cm ht.	As Shown	#5 Pot
	22	<i>Cornus sericea</i> 'Kelseymead'	Dwarf Kelseymead	60cm ht.	As Shown	#3 Pot
	102	<i>Potentilla Fruticosa</i>	Shrubby Cinquefoil	60cm ht.	As Shown	B & B
	151	<i>Buxus sempervirens</i> 'Suffruticosa'	Boxwood	60cm ht.	As Shown	#3 Pot
	51	<i>Pinus Mugo</i> 'Ophir'	Dwarf Mountain Pine	60cm ht.	As Shown	#3 Pot
	85	<i>Nandina domestica</i> 'Moon Bay'	Heavenly Bamboo	60cm ht.	As Shown	#3 Pot
	57	<i>Sarcococca Confusa</i> 'Sweet Box'	Sweet Box	1m ht.	As Shown	#5 Pot
	56	<i>Abelia x grandiflora</i>	Glossy Abelia	90cm ht.	As Shown	#5 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	99	<i>Leucanthemum x Superbum</i> 'Becky'	Monroe's White Lilyturf	1 Gal.	As Shown	Potted
	89	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	1 Gal.	As Shown	Potted
	132	<i>Erica x darleyensis</i> 'Kramer's Role'	Darley Heath	1 Gal.	As Shown	Potted
	83	<i>Begonia</i> 'Garden Angel Plum'	Hardy Begonia	1 Gal.	As Shown	Potted
	123	<i>Liriope muscari</i> 'Gold Band'	Golden Lilyturf	1 Gal.	As Shown	Potted
	171	<i>Arendsil Hybrid</i>	Astilbe Bridal Veil	1 Gal.	As Shown	Potted
	229	<i>Polystichum Munitum</i>	Western Swordfern	1 Gal.	As Shown	Potted
	83	<i>Hosta</i> 'White Feather'	Plantain Lily	1 Gal.	As Shown	Potted



PROJECT NAME:
SADA VILLAGE PHASE 1

PROJECT ADDRESS:
8120, 8092, + 8056 STAVE LAKE STREET, MISSION, BC

DRAWING TITLE:
ENLARGEMENT PLAN 3

SCALE: 1:200
 DRAWN: XX
 CHECKED: SW
 PROJECT NO: XX-XXX
 START DATE: 2024.11.18
 DRAWING NO:



L1.3

- LEGEND**
- TURF
 - PLANTING MEDIUM
 - CONCRETE SIDEWALK
 - HERRINGBONE PAVERS
 - CONCRETE WALL RE: ARCH
 - LANDSCAPE BOULDERS
 - SETBACK LINE
 - PROPERTY LINE
 - BIKE RACK

- 4 25/03/24 ISSUED FOR RE-DP
 3 25/01/23 ISSUED FOR COORDINATION
 2 24/10/02 ISSUED FOR COMMENTS RESPONSE
 1 24/09/09 ISSUED FOR DP
- NO. DATE: (y/m/d) DESCRIPTION:
 ISSUES & REVISIONS:
- SEAL:



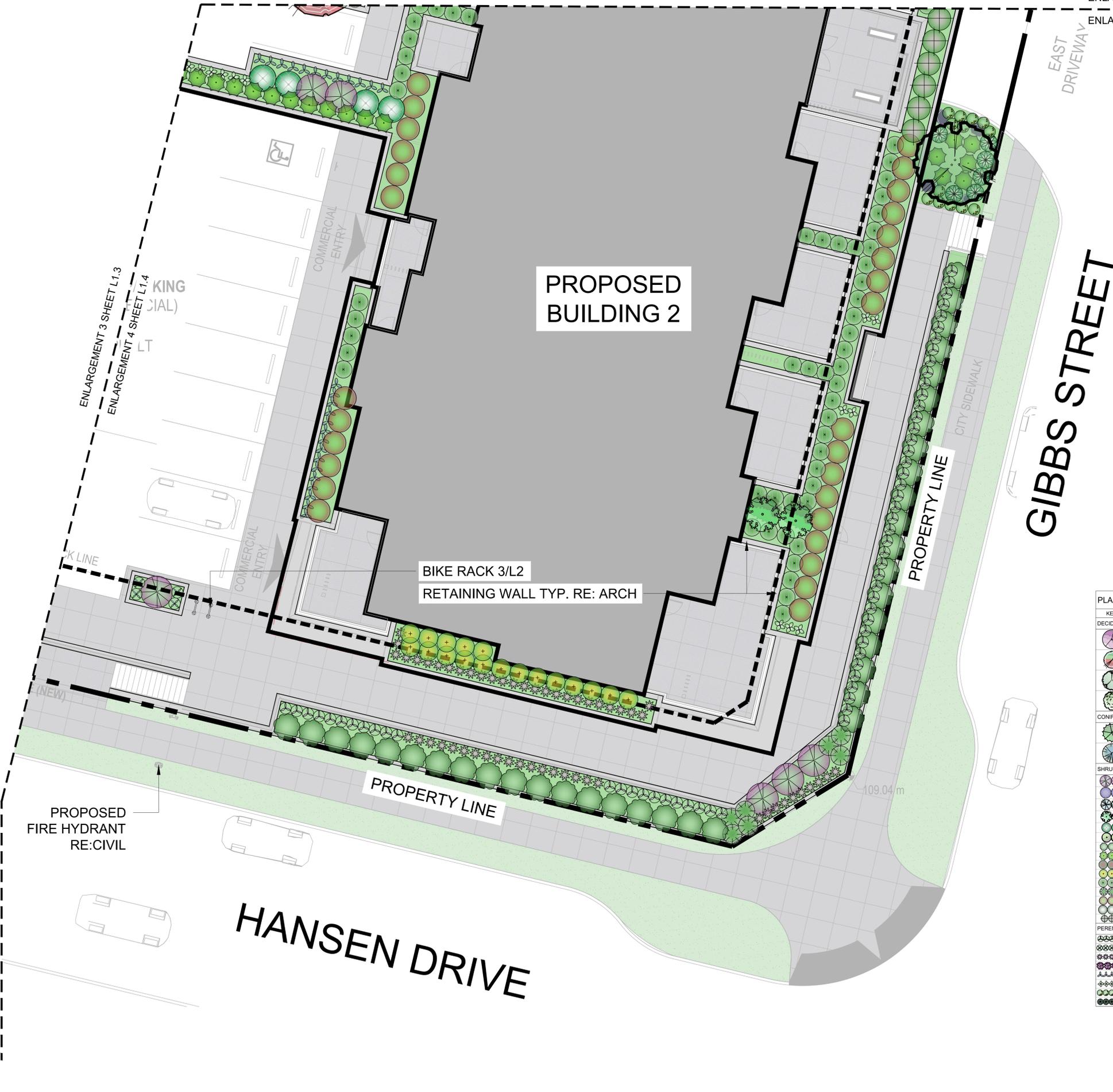
PROJECT NAME:
SADA VILLAGE PHASE 1

PROJECT ADDRESS:
**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION, BC**

DRAWING TITLE:
ENLARGEMENT PLAN 4

SCALE: 1:200
 DRAWN: XX
 CHECKED: SW
 PROJECT NO: XX-XXX
 START DATE: 2024.11.18
 DRAWING NO:

L1



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	6	<i>Cercis canadensis</i> 'Ace of Hearts'	Eastern Redbud	6cm Cal.	As Shown	W.B.
	6	<i>Acer Griseum</i>	Paperbark Maple	6cm Cal.	As Shown	W.B.
	10	<i>Ptelea trifoliata</i>	Hoptree	6cm Cal.	As Shown	W.B.
	3	<i>Carpinus Caroliniana</i>	American Hornbeam	6cm Cal.	As Shown	W.B.
CONIFEROUS TREES						
	9	<i>Chamaecyparis pisifera</i> 'Soft Serve'	Sawara Cypress	3.5m ht.	As Shown	W.B.
	3	<i>Tsuga Diversifolia</i>	Northern Japanese Hemlock	3.5m ht.	As Shown	W.B.
SHRUBS						
	11	<i>Syringia Vulgaris</i>	Common Lilac	50cm ht.	As Shown	#3 Pot
	28	<i>Sambucus nigra</i> 'Gerda'	Black Elderberry 'Gerda'	1.0m ht.	As Shown	#5 Pot
	5	<i>Picea pungens</i> 'Globosa'	Colorado Spruce	90cm ht.	As Shown	B&B
	24	<i>Chamaecyparis pisifera</i> 'Snow'	Snow False Cypress	90cm ht.	As Shown	B&B
	15	<i>Hydrangea Arborescens</i> 'Paniculata'	Panicle Hydrangea	90cm ht.	As Shown	#5 Pot
	25	<i>Podocarpus Pringlei</i> Dwarf	Japanese Yew	1m ht.	As Shown	B&B
	62	<i>Juniperus Procumbens</i>	'Nana' Garden Juniper	30cm ht.	As Shown	#2 Pot
	120	<i>Euonymus Fortunei</i>	Gold Splash Wintercreeper	60cm ht.	As Shown	#5 Pot
	22	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood	60cm ht.	As Shown	#3 Pot
	102	<i>Potentilla Fruticosa</i>	Shrubby Cinquefoil	60cm ht.	As Shown	B & B
	151	<i>Buxus sempervirens</i> 'Suffruticosa'	Boxwood	60cm ht.	As Shown	#3 Pot
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	57	<i>Sarcococca Confusa</i> Sweet Box	Sweet Box	1m ht.	As Shown	#5 Pot
	56	<i>Abelia x grandiflora</i>	Glossy Abelia	90cm ht.	As Shown	#5 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	99	<i>Leucanthemum x Superbum</i> 'Becky'	Monroe's White Lilyturf	1 Gal.	As Shown	Potted
	89	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	1 Gal.	As Shown	Potted
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	83	<i>Hosta</i> 'White Feather'	Plantain Lily	1 Gal.	As Shown	Potted



LEGEND

- TURF
- PLANTING MEDIUM
- CONCRETE SIDEWALK
- HERRINGBONE PAVERS
- CONCRETE WALL RE: ARCH
- LANDSCAPE BOULDERS
- SETBACK LINE
- PROPERTY LINE
- BIKE RACK

4	25/03/24	ISSUED FOR RE-DP
3	25/01/23	ISSUED FOR COORDINATION
2	24/10/02	ISSUED FOR COMMENTS RESPONSE
1	24/09/09	ISSUED FOR DP
NO. DATE: (y/m/d) DESCRIPTION:		
ISSUES & REVISIONS:		

SEAL:

NORTH ARROW:



PROJECT NAME:

SADA VILLAGE PHASE 1

PROJECT ADDRESS:

**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION, BC**

DRAWING TITLE:

LANDSCAPE PLAN

SCALE: 1:200

DRAWN: XX

CHECKED: SW

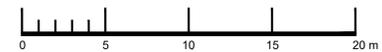
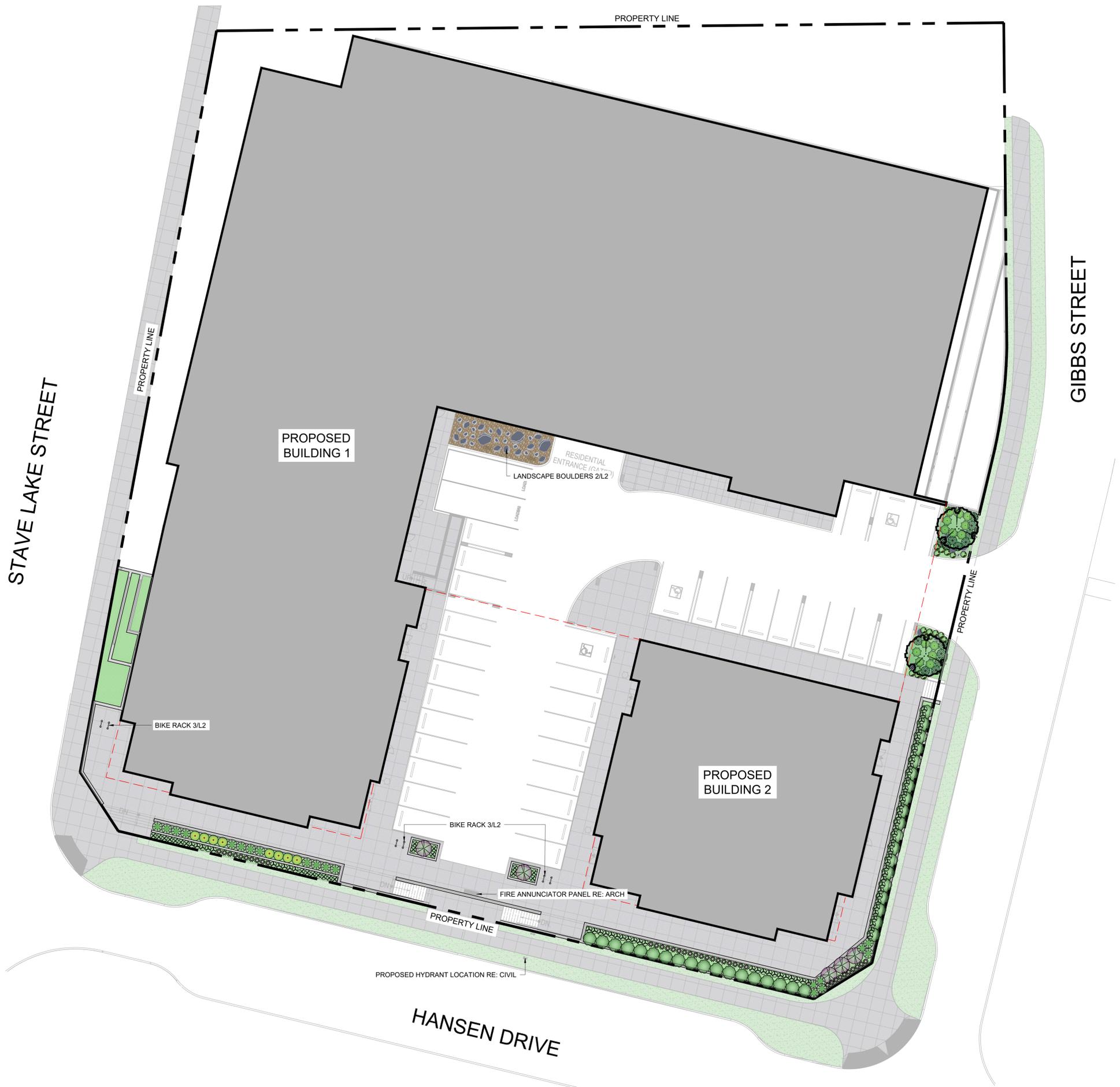
PROJECT NO: XX-XXX

START DATE: 2024.11.18

DRAWING NO:

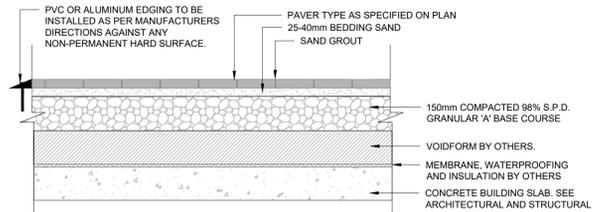
L1

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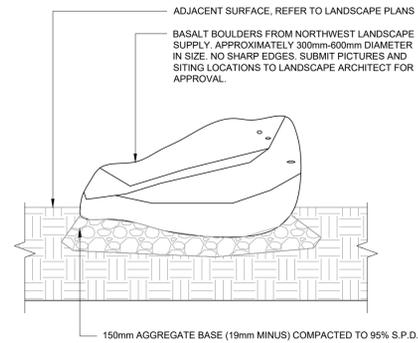
NOTES:

INSTALL ALL COMPONENTS AS PER MANUFACTURERS SPECIFICATIONS



BROADWAY 65mm PAVER SPECIFICATIONS
 PATTERN: PATTERN 3A
 COLOUR: STERLING
 MANUFACTURER: BARKMAN CONCRETE
 CONTACT: WWW.BARKMANCONCRETE.COM

.\details\pavers.jpg .\detail\paverssterling.jpg



2 LANDSCAPE BOULDERS N.T.S.

MAGLIN 1600 SERIES SC BIKE RACK
 MBR-1600-00007
 MATERIAL: CAST ALUMINUM
 INSTALLATION: SURFACE MOUNT
 QUANTITY: 6
 1-800-716-5506

M:\Employee Folders\KD Planning\Site Furniture Detail Images\1600seriesbikerack.JPG

3 BIKE RACK N.T.S.

NOTES

GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION: PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 450mm AND A MINIMUM OF 600mm IN PLANTING BEDS WITH TREES.
- SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch
 - Weed removal
 - Disease control

MINIMUM TREE PLANTING CLEARANCES

- TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - STREET LIGHT POLES - 6.0m
 - UTILITY POLES - 3.0m
 - EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - SEWER AND DRAINAGE SERVICE CONNECTION/FIRE HYDRANTS - 1.5m
 - MANHOLES, VALVE BOXES, WATER SERVICES - 1.2m
 - BCH LPT/MT/MTA SWITCH VAULTS - 2.25m
- WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK
- IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.5m FROM BACK OF CURB

SODDING NOTES

- SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
- AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
- LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

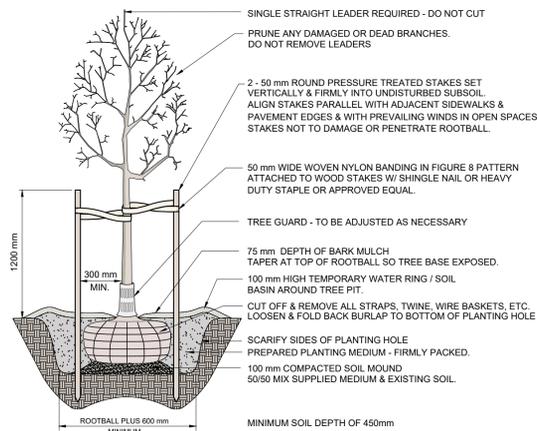
IRRIGATION NOTES

- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILT IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
- ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
- USE POP-UP SPRINKLER HEADS.
- DO NOT SPRAY WATER ONTO TREE TRUNKS.

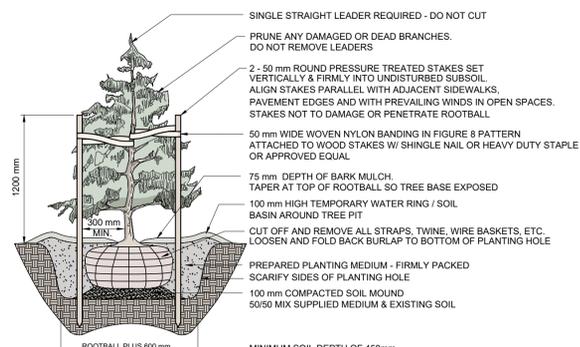
SEEDING NOTES

- AREAS DESIGNATED FOR SEED WILL FOLLOW THESE GUIDELINES.
- REMOVE ALL DEBRIS INCLUDING BUT NOT LIMITED TO ALL GRANULAR STONE, CONCRETE, WOOD AND METAL. SCARIFY ALL DISTURBED AREAS TO ELIMINATE COMPACTION OF TOPSOIL.
- TO PREPARE AREAS FOR SEEDING, SPREAD, LOOSEN AND FINE GRADE TOPSOIL. GRADE FOR POSITIVE DRAINAGE. DEPTH OF TOPSOIL TO BE MIN. 150MM.
- TO ENSURE ACCEPTANCE OF THE COMPLETED WORK, THE CONTRACTOR SHALL NOT COMMENCE SEEDING UNTIL THE PROJECT MANAGER HAS APPROVED FINE GRADES.
- SEEDING OPERATIONS SHALL BE COMPLETED BETWEEN SPRING THAW AND JUNE 15TH FOR SPRING WORK, OR BETWEEN AUGUST 15TH AND OCTOBER 15TH FOR FALL WORK.
- SEED APPLICATION METHOD: HYDROSEEDING BY APPROVED CONTRACTOR.
- CONTRACTOR TO ENSURE ADEQUATE SEED MIX CATCH. SEEDED AREAS WILL BE ACCEPTED PROVIDED THAT A SUFFICIENT AMOUNT OF THE SEED HAS GERMINATED AND BECOME ESTABLISHED IN THE OPINION OF THE PROJECT MANAGER.
- MAINTENANCE FOR SEEDED AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE PROJECT MANAGER.

SEED MIX TO BE AS FOLLOWS:
 PREMIER PACIFIC SEEDS COASTAL REVEGETATION MIX AT A SEEDING RATE OF 100 KG/HECTARE OR APPROVED EQUAL AT SEEDING RATE OF 100KG/HECTARE.



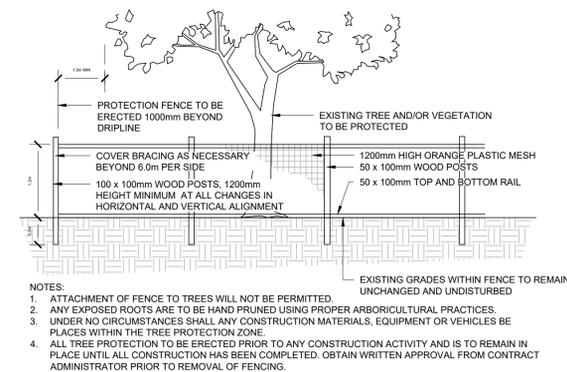
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



TREE PROTECTION DETAIL

- NOTES:
- ATTACHMENT OF FENCE TO TREES WILL NOT BE PERMITTED.
 - ANY EXPOSED ROOTS ARE TO BE HAND PRUNED USING PROPER ARBORICULTURAL PRACTICES.
 - UNDER NO CIRCUMSTANCES SHALL ANY CONSTRUCTION MATERIALS, EQUIPMENT OR VEHICLES BE PLACED WITHIN THE TREE PROTECTION ZONE.
 - ALL TREE PROTECTION TO BE ERRECTED PRIOR TO ANY CONSTRUCTION ACTIVITY AND IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED. OBTAIN WRITTEN APPROVAL FROM CONTRACT ADMINISTRATOR PRIOR TO REMOVAL OF FENCING.

4	25/03/24	ISSUED FOR RE-DP
3	25/01/23	ISSUED FOR COORDINATION
2	24/10/02	ISSUED FOR COMMENTS RESPONSE
1	24/09/09	ISSUED FOR DP

NO. DATE: (y/m/d) DESCRIPTION:
 ISSUES & REVISIONS:

SCALE:

NORTH ARROW:

PROJECT NAME:

SADA VILLAGE PHASE 1

PROJECT ADDRESS:
**8120, 8092, + 8056
 STAVE LAKE STREET, MISSION, BC**

DRAWING TITLE:
DETAILS

SCALE:	AS NOTED
DRAWN:	XX
CHECKED:	SW
PROJECT NO.:	XX-XXX
START DATE:	2024.11.18
DRAWING NO.:	

L2