

Attachment C

CITY OF MISSION

BYLAW 6342-2025-5949(182)

A Bylaw to amend "District of Mission
Zoning Bylaw 5949-2020"

WHEREAS, under the provisions of the *Local Government Act*, a Council may, by bylaw, divide the municipality into zones and regulate the use of land, buildings and structures within such zones;

AND WHEREAS the Council of the City of Mission has adopted "District of Mission Zoning Bylaw 5949-2020" and amended same from time to time;

AND WHEREAS the Council of the City of Mission deems it advisable and in the public interest to amend the Zoning Bylaw;

NOW THEREFORE the Council of the City of Mission, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "City of Mission Zoning Amending Bylaw 6342-2025-5949(182)."
2. "District of Mission Zoning Bylaw 5949-2020" as amended, is hereby further amended by:
 - a) adding a new Section 1958 – Comprehensive Development 58 (CD58) Zone, as set out in Schedule "1" attached to and forming part of this Bylaw;
 - b) rezoning portions of the properties located at, and legally described as identified in Schedule "2" attached to and forming part of this bylaw:
from Rural Residential 7 (RR7) Zone to Comprehensive Development 58 (CD58) Zone and Institutional Parks, Recreation and Civic (IPRC) Zone, as identified in Schedule "3" attached to and forming part of this bylaw; and
 - c) amending the zoning maps accordingly.

READ A FIRST TIME this __ day of ____, 202x

READ A SECOND TIME this __ day of ____, 202x

READ A THIRD TIME this __ day of ____, 202x

ADOPTED this __ day of ____, 202x

PAUL HORN
MAYOR

JENNIFER RUSSELL
CORPORATE OFFICER

Schedule "1"

Comprehensive Development 58 Zone

CD58

A. Zone Intent

1. The intent of the **CD58** Zone is to provide specific zoning, based on a combination of the MU2 Zone provisions and Stave Heights Neighbourhood Plan (SHNP), including the Apartment Residential land use designation, to allow for a mixed-use development.

B. Permitted Uses

1. The following **Principal Uses** and no other shall be permitted in the **CD58** Zone:
 - a. **Food and Beverage** limited to:
 - i. **Neighbourhood Public House**,
 - ii. **Restaurant (Major)**, and
 - iii. **Restaurant (Minor)**.
 - b. **Institutional** limited to:
 - i. **Child Care Centre**.
 - c. **Office** limited to:
 - i. **Office (General Use)**, and
 - ii. **Office (Medical Office)**.
 - d. **Personal Service** limited to:
 - i. **Barbershop**,
 - ii. **Body Art and Tattoo Parlour**,
 - iii. **Drycleaner**,
 - iv. **Hair and Body Salon**,
 - v. **Spa**, and
 - vi. **Tailor**.
 - e. **Residential** limited to:
 - i. **Apartments** provided they:
 - i. form an integral part of a **Building** on the **Lot**, and
 - ii. are not located on the first **Storey** and are the only **Use** in a **Storey** and in all other **Storeys** above the **Commercial Use**. Due to the topography, the residential units shall be in general accordance with **Schedule "A"**.
 - f. **Retail** limited to:
 - i. **Liquor Store**,
 - ii. **Retail (Food Store)**,
 - iii. **Retail (Minor)**, and
 - iv. **Retail (Pharmacy)**.
 - g. **Service** limited to:
 - i. **Animal Daycare**,

- ii. **Veterinary Clinic,**
 - iii. **Financial Services,**
 - iv. **Community Services, and**
 - v. **General Service Use.**
2. The following **Accessory Uses** and no other shall be permitted in the **CD58** Zone:
- a. **Accessory** limited to:
 - i. **Accessory Building,** and
 - ii. **Accessory Structure.**
 - b. **Office** limited to:
 - i. **Office (Administrative Use).**
 - c. **Residential** limited to:
 - i. **Amenity Space (Common Indoor),**
 - ii. **Amenity Space (Common Outdoor),**
 - iii. **Amenity Space (Private Outdoor),** and
 - iv. **Home Occupation.**
 - d. Storage limited to:
 - i. **Enclosed Storage.**

C. Lot Area

1. A **Lot** created through subdivision in this zone shall comply with the following minimum standards:

Zone	Lot Area
CD58	558.0 sq m (6,006.0 sq ft)

D. Setbacks

1. All **Buildings** and **Structures** shall be sited in accordance with the following minimum setbacks:

	Front	Rear	Interior Side	Exterior Side
Principal / Accessory Building or Structure	3.0 m (9.8 ft)	3.0 m (9.8 ft)	3.0 m (9.8 ft)	3.0 m (9.8 ft)

- 2. Notwithstanding Section 302 Part D.1, all **Buildings** shall be sited a minimum of 6.0 m (19.6 ft) from all **Undevelopable Areas** as defined in this Bylaw.
- 3. Notwithstanding Section 1958 Part D.1, all residential **Dwelling Units** along Stave Lake Street shall be sited a minimum of 7.5 m (24.6 ft) to provide a buffer to the existing adjacent single-family residential development, and to separate individual units from vehicle traffic.
- 4. Notwithstanding Section 1958 Part D.1, parkade walls shall be sited at a minimum 0.75 m (2.46 ft) from the property line.
- 5. The location of the mixed-use **Buildings** shall be in general accordance with **Schedule "A"**.

- 6. The location of the retaining walls and parkade shall be in general accordance with **Schedule "A"**.

E. Lot Coverage

- 1. **Lot Coverage** shall not exceed the percentage noted in the following table:

Zone	<i>Lot Coverage</i>
CD58	75%

F. Density

- 1. The **Density** shall not exceed the **Floor Space Ratio** of 1.5 FSR with Density Transfer as identified below.

Density Transfer as defined in the *Stave Heights Neighbourhood Plan*:

Gross Density is where density is transferred from the portion of the required Protected Natural Asset (PNA) area located between top of bank to the edge of the PNA boundary (in most cases, 15 m (49.2 ft) from the top of bank) to the remainder of the development site.

Density Transfer is like gross density except density is transferred to another property. The sites are referred to as the 'donor site' and the 'receiver site'. In such cases, a portion of the gross (total) density is transferred from the 'donor site' to the 'receiver site'. The 'donor site' is the designated PNA and dedicated to the municipality. Density can be transferred beyond the designated PNA are of the 'donor site' to the 'receiver site'.

- a. The Density Transfer arrangement is identified as 'Density Transfer A' and 'Density Transfer B' in **Schedule "B"**.
- 2. The maximum number of residential units permitted shall not exceed 180 in number.

G. Height of Buildings

- 1. The **Height** of the **Principal Building** and **Accessory Buildings** shall not exceed the **Height** in the following table:

	<i>Principal Building</i>	<i>Accessory Building/Structure</i>
Height	23 m (75.4 ft)	4.5 m (14.8 ft)

H. Amenity Space

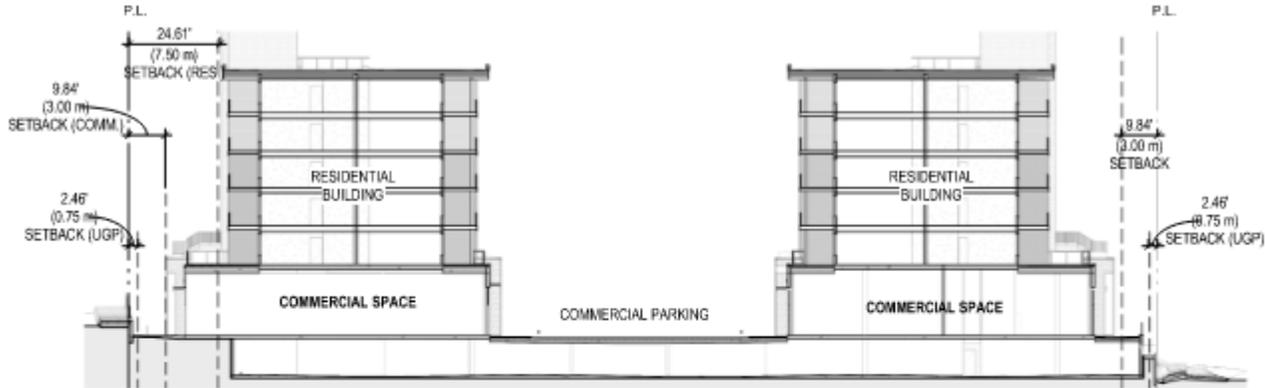
- 1. **Amenity Space (Common Indoor)** shall meet the following requirements:
 - a. **Developments** that contain 25 **Dwelling Units** or more shall provide in **Amenity Space (Common Indoor)** at a rate of at least 2.8 sq m (30 sq ft) per **Dwelling Unit**.
 - b. **A Child Care Centre** may be housed within an **Amenity Space (Common Indoor)** provided it complies with the following requirements:
 - i. Has direct access from a **Street**, independent from the access to the Residential Uses, and
 - ii. Has direct access to an open space and play area within the **Lot**.
- 2. **Amenity Space (Common Outdoor)** is not a requirement within this zone; however, if it is provided, it shall have a slope of 5% or less.

3. **Amenity Space (Private Outdoor)** shall meet the following requirements:
 - a. **Developments** shall provide 2.8 sq m (30.0 sq ft) per **Dwelling Unit**.
4. The **Amenity Space (Private Outdoor)** shall be directly accessible, and adjacent to the **Dwelling Unit** it serves and shall be in the form of a **Balcony** or patio.

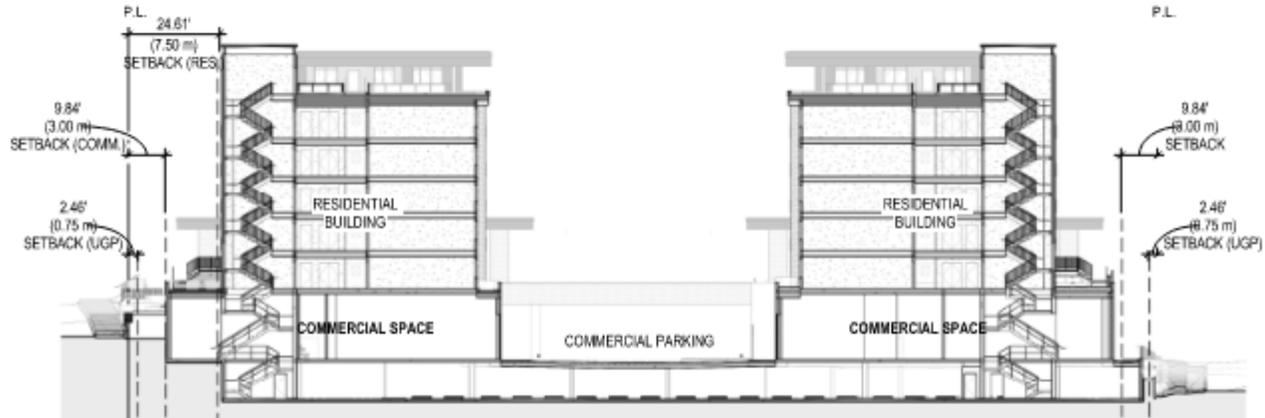
I. Off Street Motor Vehicle Parking, Bicycle Parking Areas and Loading Spaces

1. **Off Street Motor Vehicle Parking** shall be in accordance with the provisions of Section 109.
2. **Bicycle Parking Areas** shall be in accordance with the provisions of Section 110.
3. **Off Street Loading Space** shall be in accordance with Section 111.
4. **Off Street Motor Vehicle Parking** and **Off Street Loading Space** within the required setbacks are not permitted.
5. 75% of the required resident **Off Street Motor Vehicle Parking Spaces** must be provided as parking within the **Building** envelope.
6. **Off Street Motor Vehicle Parking** shall not have access across a **Lot Line (Front)** if access is available via a **Lane** or a flanking **Street**.

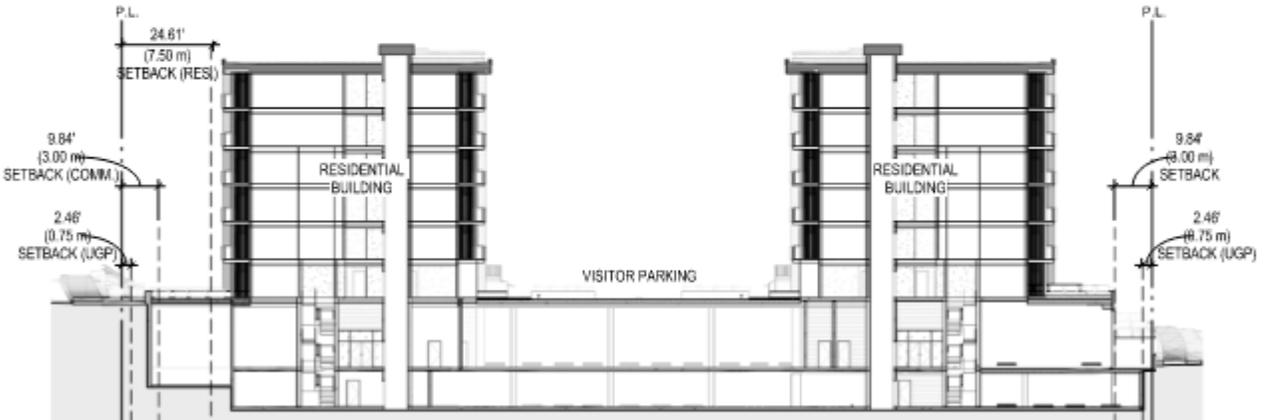
Schedule A: Location of Buildings and Structures



1 EAST / WEST SECTION - SETBACK



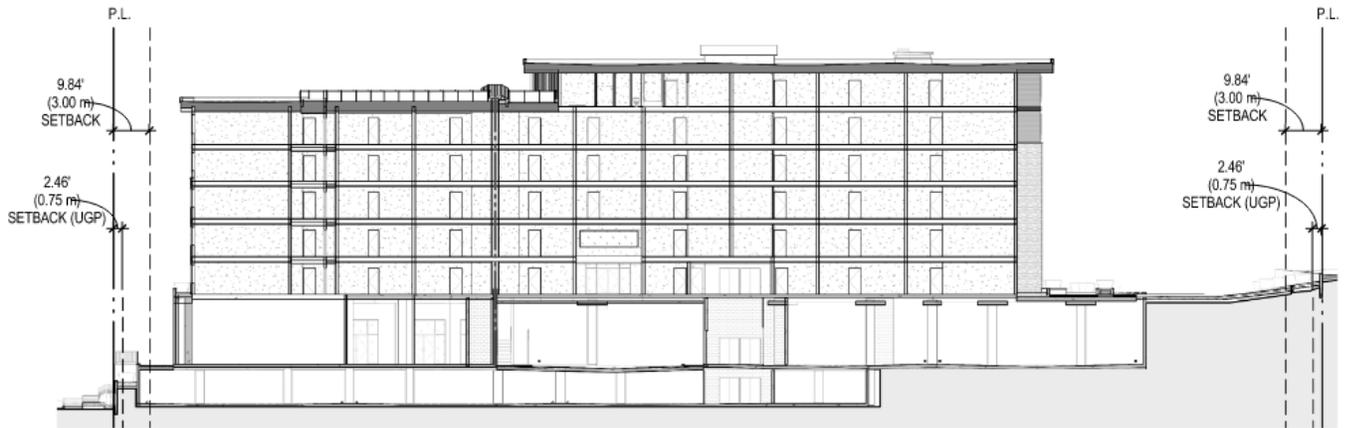
2 EAST / WEST SECTION 2 - SETBACK



3 EAST / WEST SECTION 3 - SETBACK



1 NORTH / SOUTH SECTION - SETBACK



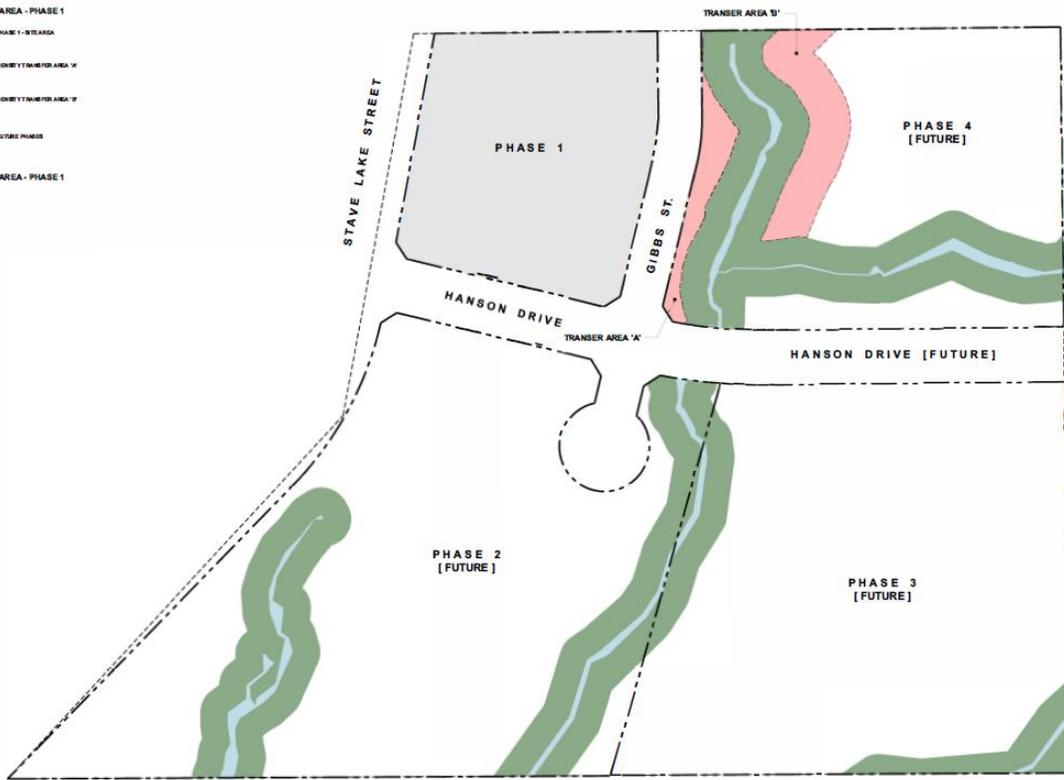
2 NORTH / SOUTH SECTION 2 - SETBACK

Schedule B: Density Transfer

PHASE 1 - DENSITY TRANSFER SCHEDULE B

DEVELOPMENT AREA - PHASE 1

- PHASE 1 (STAGS)
- CONVEYANCE AREA 'X'
- CONVEYANCE AREA 'Y'
- FUTURE PHASES
- DEVELOPMENT AREA - PHASE 1



SADA VILLAGE - PHASE 1 DENSIT TRANSFER



Schedule "2"

CIVIC ADDRESSES	LOT DESCRIPTIONS	P.I.D.
8120 Stave Lake Street	LOT "A" EXCEPT: PARCEL "ONE" (REFERENCE PLAN 5512), SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110	012-534-234
8092 Stave Lake Street	LOT "B" EXCEPT: PARCEL "E" (REFERENCE PLAN 3915), SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110	012-534-331
8056 Stave Lake Street	<p>PARCEL "D" (REFERENCE PLAN 3912) LOT 6 SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 1947</p> <p>LOT "C" EXCEPT PARCEL "E" (REFERENCE PLAN 3915) SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110</p> <p>PARCEL "E" (REFERENCE PLAN 3915) LOTS "B" AND "C" SECTION 27 TOWNSHIP 17 NEW WESTMINSTER DISTRICT PLAN 2110</p>	<p>012-415-677</p> <p>012-534-242</p> <p>012-534-251</p>

Schedule "3"

