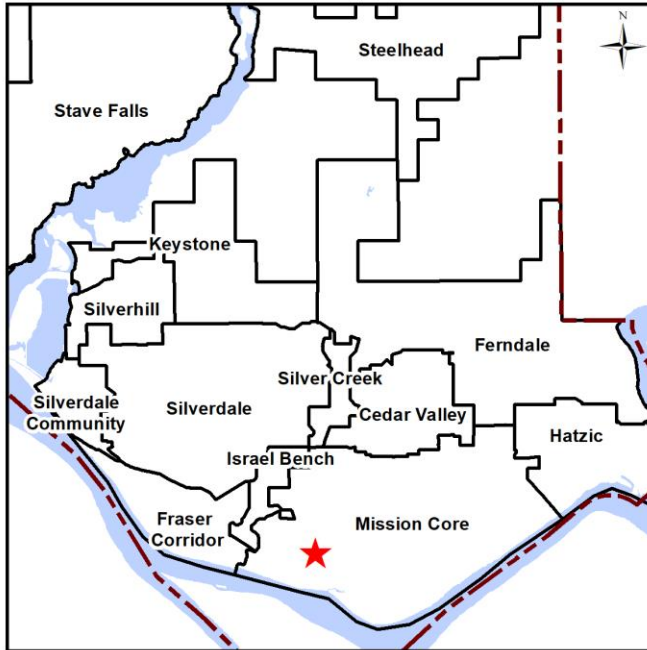


Project: P2024-017
Application Number: TPN24-1

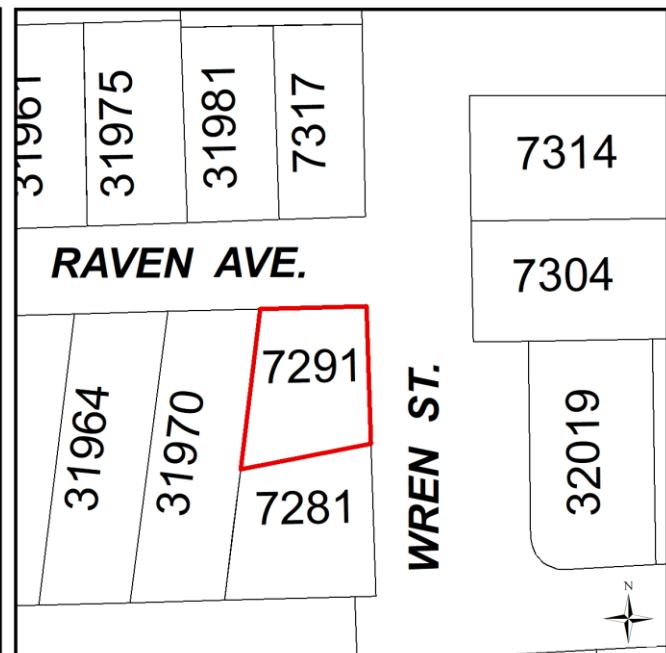
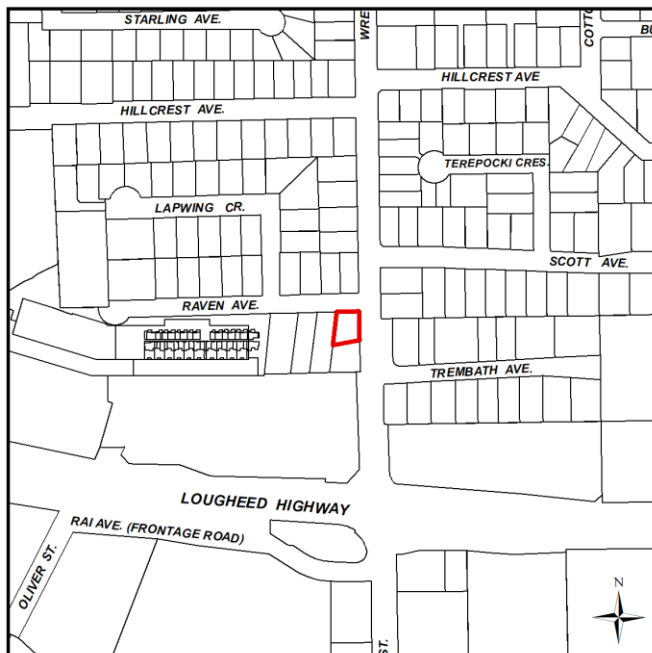
Subject: Development Application – 7291 Wren Street – Temporary Use Permit



DATE: April 7, 2025
BYLAW / PERMIT #: TPN24-1
PROPERTY ADDRESS: 7291 Wren Street
LOCATION: Mission Core
CURRENT ZONING: Urban Residential 558 Zone (R558)
PROPOSED ZONING: No change
CURRENT OCP: Commercial
PROPOSED OCP: No change

PROPOSAL:

A proposed Temporary Use Permit (TUP) to use an existing temporary building as a sales centre.



Recommendation(s)

That Temporary Use Permit TPN24-1 to allow a sales centre at 7291 Wren Street be issued for a period of three years.

Background

The building currently standing at 7291 Wren Street was originally proposed and constructed as a temporary building for use as a sales centre by the Elevate Development Corporation. The Elevate Development Corporation received a TUP to construct the temporary building with the intention that it would be removed when the TUP expired in May 2023. However, the building was not removed. The building is currently vacant.



The sales centre on the subject property

This application proposes a new TUP by a different applicant who seeks to once again use the building as a sales centre. It would be used to promote a proposed mixed-use development at 9023 Cedar Street (P2020-100). The project at 9023 Cedar Street has been granted third reading for OCP and rezoning amendments, and the applicant wishes to begin marketing the development.

Rationale of Recommendation(s)

- The existing building on the site should be removed as it does not meet the standards for a building

beyond that of a temporary one. It was constructed under a temporary building permit and was not intended to be permanent. Additionally, its use and siting do not comply with the stipulations of the Zoning Bylaw and the R558 Zone. Staff recommend using this TUP as a solution to remove the building at the end of the proposed TUP.

- In order to guarantee the building's removal, the applicant has agreed to provide a deposit as a condition of the TUP that would cover its removal. The applicant received a quote for the demolition of the building and it was agreed that \$56,250 was sufficient for the deposit. The building would need to be removed at the expiration of the TUP for the deposit to be returned to the applicant, otherwise the City would use the funds to remove the building.
- As a further condition, the applicant will be required to complete a new temporary building permit which includes any necessary upgrades to bring the structure into compliance. No changes are being proposed to the existing building, with the exception of minor improvements for marketing purposes, such as signage installation.

Purpose

To apply for a TUP to use an existing temporary building as a sales centre to promote a proposed development. The draft TUP is included as **Attachment A**.

Site Characteristics and Context

Applicant

- Kevin Rakhra

Property Size

- The property is approximately 630 sq m (6,781 sq ft) in size.

Neighbourhood Character

- The property is surrounded by single-family dwellings to the north, south, and east.
- The Elevate Development Corporation's mixed-use development is located to the south and east of the subject property.
- The existing building at 7291 Wren Street is a single storey building with a modern architecture style.

Referrals

Engineering Department:	The Engineering Department has no objection to this proposal.
Building Division:	No concerns provided the applicant completes a new temporary building permit.
Bylaw and Licensing Division:	No concerns.

Development Considerations

Conditions of Temporary Use Permit

To ensure that the proposed use of the land conforms to City and Provincial legislation, conditions have been included within the draft permit:

- I. A security deposit of \$56,250 to guarantee the removal of the building must be paid to the City within 90 days of the approval of the TUP. The deposit will be returned following the removal of the building.
- II. A new Section 219 Covenant must be registered on title stating the temporary building will be removed within three years.
- III. A new temporary building permit must be completed and must follow the design, siting, and landscaping of the existing building. Any upgrades required by the City must be completed. A letter of credit in the amount of \$10,000 is to be received alongside the temporary building permit.
- IV. All business licenses issued to the occupant of the property will have expiry dates that will not exceed the term of the permit.
- V. All proposed signage on the site must be in accordance with the City of Mission Sign Bylaw 1662-1987 and approved by the Development Services Department.

Temporary Use Permit Renewal

Upon expiry of the permit, the owner may apply for a one-time renewal of the TUP for an additional three years.

Financial Implications

There are no financial implications associated with this report.

Communication

Communication action, as listed below, is in accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*.

- A Notice of Temporary Use Permit was sent to all occupiers and owners of properties within a 10 m (30 ft) radius of the site notifying them of the details.

Attachments

Attachment A: Draft Temporary Use Permit TPN24-1

Sign-Offs



Rob Publow, Manager of Planning

JH / sh

Approved for Inclusion: Mike Younie, Chief Administrative Officer