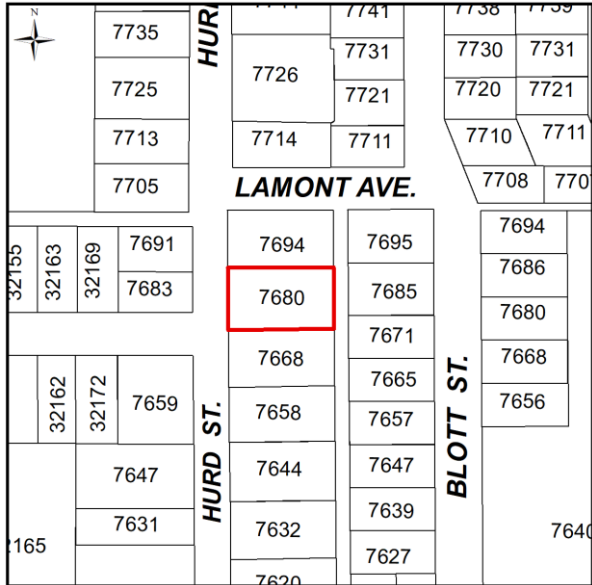
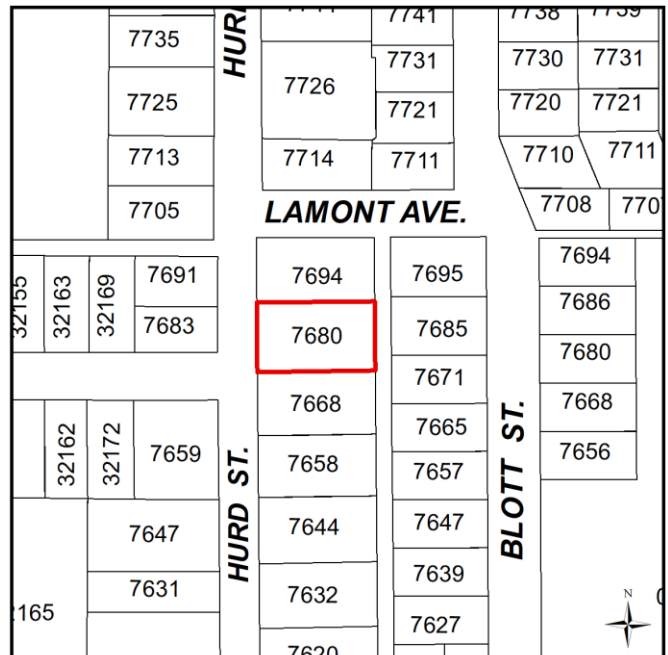
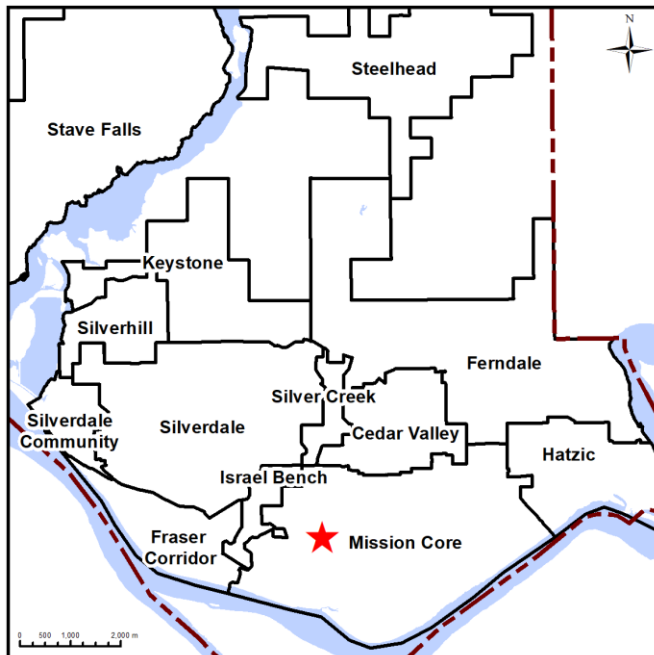


Project: P2021-057
Application Numbers: R21-022

Subject: Development Application - 7680 Hurd Street



DATE: May 16, 2022
BYLAW / PERMIT #: 6098-2022-5949(65)
PROPERTY ADDRESS: 7680 Hurd Street
LOCATION: Mission Core
CURRENT ZONING: Urban Residential 558 Zone (R558)
PROPOSED ZONING: Multi-unit Rowhouse One Zone (MR1)
CURRENT OCP: Attached Multi-unit Residential
PROPOSED OCP: No change
PROPOSAL:
 To allow for a 3 lot subdivision for rowhomes.



Recommendation(s)

1. That draft bylaw 6098-2022-5949(65) to rezone 7630 Hurd Street from Urban Residential Zone (R558) to Multi-unit Rowhouse One (MR1) Zone be considered for first and second reading:
2. That subject to the Bylaw receiving first and second reading, a Public Hearing be scheduled for July 4, 2022;
3. That prior to the adoption of Zoning Amending Bylaw 6098-2022-5949(65) the following conditions be met to the satisfaction of the Director of Development Services:
 - a. Collection of any volunteered contributions to the City's community amenity reserve.
 - b. Completion of the Engineering requirements, as in **Attachment A**.
 - c. Any other requirements resulting from Council's consideration of the Bylaw, including Public Hearing.
4. That Development Permit DP21-064 be considered for approval at the same time as bylaw 6098-2022-5949(65) is considered for adoption.

Rationale of Recommendation(s)

The application to rezone to allow for three rowhouses (**Attachment B**) is consistent with the Attached Multi-unit designation in the OCP which allows for a variety of multi-family developments, including rowhouses, with an FSR ranging from 0.5 to 0.75.

The existing lane will be upgraded, vehicular access for each lot will only be permitted from the lane.

The development proposal is consistent with OCP policy 8.1.34 which states "provide the majority of the attached multi-unit residential development near neighbourhood centres, schools and parks." The location of the proposed rowhouse is in close proximity to Kinsmen Park West, West Heights Elementary, and a proposed Neighbourhood Commercial Centre at the corner of Hurd Street and 7th Avenue.

Council's 2018-2022 Strategic Plan encourages the development of Liveable Complete Communities, and to achieve this goal, Council has identified the need to attract various housing options. The introduction of rowhouses meets this goal.

Purpose

To accommodate the subdivision of 3 lots under the Multi-unit Rowhouse Zone (MR1).

Site Characteristics and Context

Applicant

- Gagan Oberoi

Property Size

- The current size of the property is 0.109 ha (0.27 ac).
- 4.0 m of road dedication is required along Hurd Street. After the road dedication, the property will be 994 sq m (0.245 ac) in size.

Neighbourhood Character

- The current neighbourhood character consists of 1 and 2 storey single family dwellings.
- While the proposed 2 ½ storey rowhouses will be slightly taller than existing dwellings in the neighbourhood, with the Attached Multi-unit OCP designation we expect to receive more applications for multi-unit development along Hurd Street, of similar height to the proposed rowhouses.

Environmental Protection

- There are no environmentally sensitive areas identified on the subject property. However, an environmental assessment will be required, to verify if there are any environmentally sensitive and significant areas within the property, prior to final approval of the development.
- An arborist report submitted as part of the application identified three trees within the property, all of which will require removal as part of the development application.
- Tree planting requirements will be addressed in the landscape drawings as part of the Multi-unit Development Permit Area.

Servicing

- Municipal storm, sewer, and water services are available to the site.
- Development of this area will require servicing, as outlined under "Referrals".

DP21-064 Multi Unit Development Permit

- Draft Development Permit DP21-086 is shown on **Attachment C**. The development permit guidelines are intended to encourage the sensitivity and creativity needed to integrate multi-unit development into a community traditionally dominated by single family neighbourhoods.
- The objectives of the development permit include integrating higher density development into an existing neighbourhood.
- The design aspects of the development permit guidelines are performance-based and do not include the requirements stipulated by the Zoning Bylaw which are more prescriptive in nature.
- The following table shows that the development has addressed most of the criteria essential for a well-planned development.

Development Permit Guidelines

Building Form and Character	Meets Guidelines	Does Not Meet Guidelines
Orient building frontages and main entrances to the dominant street frontage, with well-defined entries and with walkways and bicycle access to the street.	x	
Consider appropriate safety and natural surveillance measures (such as substantial lighting, visual access, and sight lines) per CPTED principles.	x	
Design residential units facing streets so that primary living areas have a clear view of the street.	x	

Development Permit Guidelines

Building Form and Character	Meets Guidelines	Does Not Meet Guidelines
Design buildings with architectural interest, using design features such as varying rooflines, extensive glazing, well defined entrances, business specific signage, and high-quality exterior elements.	x	
Design with parking garages or carports facing away from the street as much as possible.	x	
Multi-unit buildings are encouraged to provide a transition to the character and height of adjacent buildings.	x	
Design buildings with varied facades and articulated rooflines, or design in a contemporary style that offers visual interest, to discourage large bland buildings that do not reflect the character or scale of Mission.	x	
Design facades and rooflines of accessory structures and buildings in a manner that is consistent with the architectural design of the principal buildings.	x	
Use durable and high-quality building materials, integrating natural materials such as local stone, brick, and wood, as well as low emissivity (low-E) glass.	x	
Consider weather protection over entry points, balconies, and porches, (e.g., roof overhead, or area inset below the floor above).	x	
Locate landscaped open space next to windows, especially from living spaces, and stagger windows between facing buildings.		
Balconies and patios should be designed with attention first to the usability of the space by the resident and secondly to the overall design of the building to ensure a cohesive, attractive design.	x	
Provide landscaping that creates visual interest and identity.	x	
Encourage reducing the amount of asphalt paving and introducing other materials where possible, preferably permeable (e.g., permeable pavers, reinforced grass).	x	
A clear, direct, and attractive pathway system, preferably with landscape treatment, is encouraged to connect the buildings with parking lots and sidewalks along fronting streets.	x	
Encourage landscape designs that use native plants and low maintenance approaches, e.g., drought resistant, low water requirement plants where possible.	x	
Driveways to individual units should be useable. This means the driveway length should be less than 1m or greater than 6 m.	x	
End units should be designed with additional architectural detail.		x

Referrals

Engineering Department:

The Engineering Department has no objection to this proposal, subject to the completion of Engineering Servicing requirements, as outlined in **Attachment A**.

Development Considerations

Community Amenity Contribution

The applicant has volunteered to contribute \$2,815 per new lot/unit in accordance with Policy LAN.40(C).

Housing Needs Projections

The 2020 to 2024 Housing Needs Assessment has identified the need to build 149 market home ownership dwelling units this year.

If this development is approved, it will add 3 market home ownership dwelling units to the City's stock.

Transit

The proposed development is not located on a transit route.

The closest bus route and bus stop is located at the intersection of Hurd Street and 7th Avenue, approximately 229 m to the south.

Financial Implications

There are no financial implications associated with this report.

Communication

Communication action, as listed below, is in accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*.

- The applicant has posted one development notification sign.
- Public Hearing Notification will be sent to all occupiers and owners of properties within 152 m from the development site notifying them of the public hearing details.

Attachments

Attachment A: Engineering Comments
Attachment B: Site Plan
Attachment C: DRAFT Development Permit DP21-060

Sign-Offs



Rob Publow, Manager of Planning

MB / sh

Approved for Inclusion: Mike Younie, Chief Administrative Officer

ENGINEERING & PUBLIC WORKS DEPARTMENT REZONING COMMENTS

November 30, 2021

CIVIC ADDRESS: 7680 Hurd Street

CURRENT ZONE: R558

PROPOSED ZONES: MR1

NOTE: The following Engineering Comments are made in accordance with the City of Mission Development and Subdivision Control Bylaw No. 5650-2017 (DSCB).

DOMESTIC WATER REQUIREMENTS:

Municipal water service is available on Hurd Street. Connection to the municipal system is required.

STORM SEWER REQUIREMENTS:

Municipal storm service is available on Hurd Street. Connection to the municipal system is required.

SANITARY SEWER REQUIREMENTS:

Municipal sanitary service is available on Hurd Street. Connection to the municipal system is required.

ROAD WORK REQUIREMENTS:

Hurd Street provides paved access to the site. The existing rear lane provides graveled access to the site.

Hurd Street is classified as a Collector Road in the 2016 Transportation Master Plan. Hurd Street is currently only 15 metres wide at this location. The Developer shall dedicate 4.0 metres of additional road right-of-way adjacent Hurd Street as a condition of Subdivision/Development.

OTHER COMMENTS:

Detailed engineering requirements will be formalized at the Subdivision/Development stage.

RECOMMENDATION:

From an engineering point of view, the rezoning application may proceed to adoption.

ENGINEERING & PUBLIC WORKS DEPARTMENT REZONING COMMENTS



Prepared by:
Graham Harder,
Engineering Technologist I



Reviewed by:
Tracy Kyle, Director of Engineering & Public
Works



Reviewed by:
Jay Jackman, Manager of Development
Engineering, Projects & Design

PROJECT STATISTICS:

CIVIC ADDRESS: 7680 HURD ST, MISSION, BC V2V3J5
 LEGAL DESCRIPTION: LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT
 ZONING: (EXISTING)R558 TO (PROPOSED) MR1
 SITE AREA: (10696.85 SQ.FT. (993.76SQ.M.) AFTER DEDICATION)

AVERAGE FINISHED GRADE: (64.40 + 64.45 + 64.61 + 64.67) / 4 = 64.53

RESIDENTIAL REQUIRED PARKING: 6 2 CAR UNITS x 3 UNITS = 6 CARS
 PROPOSED: 6 CARS
 VISITOR: 6 OFFSITE PARKING

BUILDING HEIGHT 11M 10.7M

LEGEND:

00.00 DENOTES PROPOSED FINISHED GRADE ELEVATION IN METERS

00.00 DENOTES EXISTING GRADE ELEVATION FROM GRADING PLAN

PRINCIPAL BUILDING SETBACKS:

LOTS	FRONT REQUIRED	PROPOSED	REAR REQUIRED	PROPOSED	INTERNAL REQUIRED	PROPOSED
LOT A	3.5M	6.39M	12.5M	20.1M	1.2M	1.2M
LOT B	3.5M	6.21M	12.5M	20.2M	0.0M	0.0M
LOT C	3.5M	6.04M	12.5M	20.3M	1.2M	1.2M

LOT AREA:

LOTS	REQUIRED	PROPOSED
LOT A	165 SQ.M	346.8 SQ.M
LOT B	200 SQ.M	300.1 SQ.M
LOT C	165 SQ.M	346.8 SQ.M

LOT DIMENSIONS:

LOTS	WIDTH REQUIRED	PROPOSED
LOT A	7.2M	8.5M
LOT B	6.0M	7.3M
LOT C	7.2M	8.5M

LOT COVERAGE:

LOTS	ALLOWED	PROPOSED
LOT A	50%	48.52%
LOT B	60%	57.14%
LOT C	50%	49.18%

GARAGE SETBACKS:

LOTS	FRONT REQUIRED	PROPOSED	REAR REQUIRED	PROPOSED	INTERNAL REQUIRED 2.4M TOTAL	PROPOSED
LOT A	7.5M	8.10M	0.5M	5.6M	1.2M	2.87M
LOT B	7.5M	8.50M	0.5M	5.8M	2.4M	2.4M
LOT C	7.5M	8.10M	0.5M	5.9M	1.2M	1.2M

FSR:

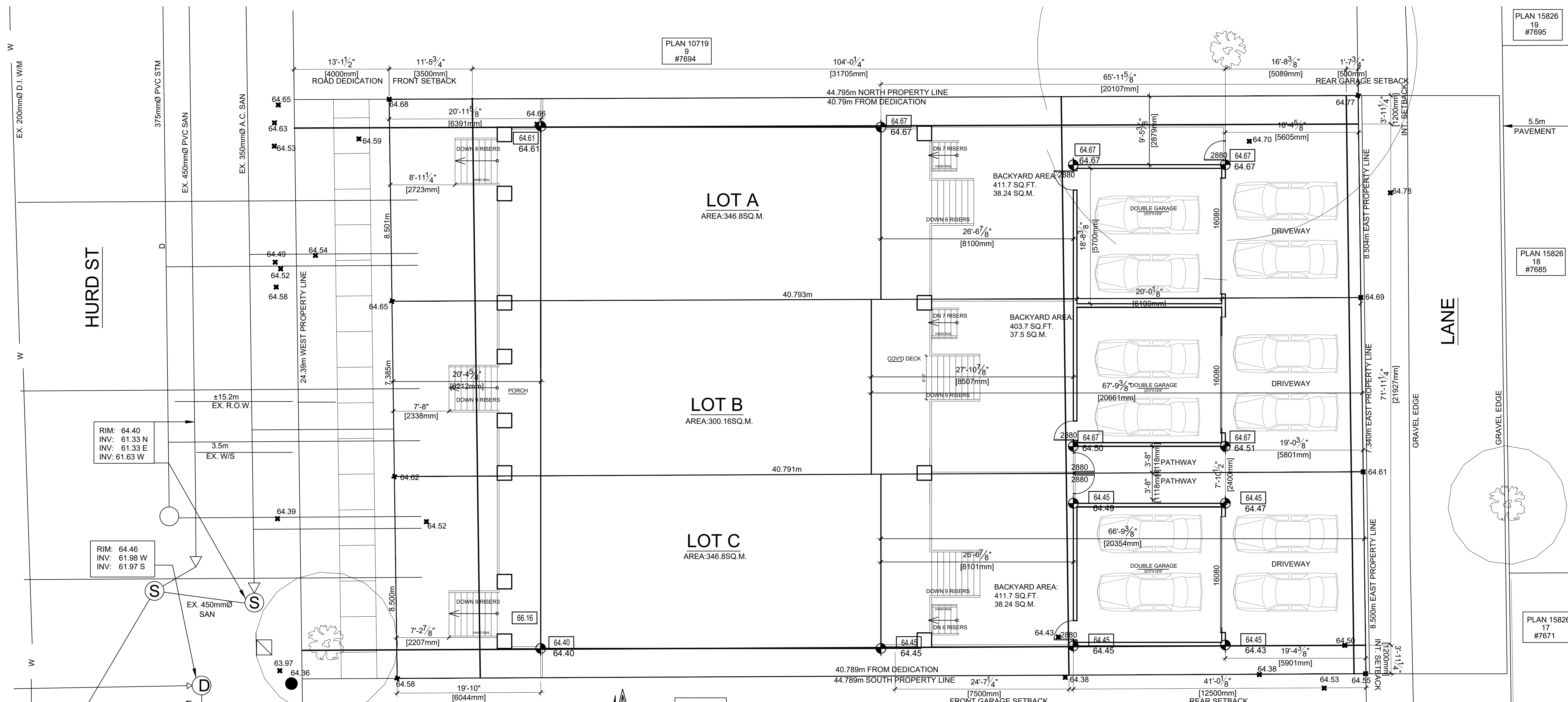
LOTS	ALLOWED	PROPOSED
LOT A	1.0	0.891
LOT B	1.0	0.999
LOT C	1.0	0.891

NOTES:

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REVISIONS:

DATE	ISSUED FOR	REV
09.03.2021	BP SUBMISSION	



PLAN 10719 7 #7668

1 SITE PLAN (FULL SIZE) 1/8" = 1'-0" (11X17) 1/16" = 1'-0"



LEGAL DESCRIPTION: LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT

PROJECT DESCRIPTION: PROPOSED TRIPLEX DWELLING

PROJECT LOCATION: 7680 HURD ST, MISSION BC

DRAWING CONTENTS: SITE PLAN & SITE STATISTICS

DRAWN BY: BAKerview DATE: 06 15 2021
 CHECKED BY: BAKerview JOB NO.: 200131
 SCALE: TOTAL SHEETS: AS SHOWN 7

A0

Attachment C - DRAFT Development Permit

CITY OF MISSION DEVELOPMENT PERMIT DP21-064

Issued to: Narotam K. Verma & Gulshan Verma
(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: 15292 – 83rd Avenue, Surrey, BC V3S 8M7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Permit applies to and only to those lands within the Municipality, and more particularly known and described as below, and any and all buildings, structures and development thereon:

Address: **7680 Hurd Street**
Parcel Identifier: 009-380-426
Legal Description: Lot 8 Section 20 Township 17 New Westminster District Plan 10719

3. The above property has been designated as **Development Permit Area B Multi-unit Residential** in the Official Community Plan.

The said lands are zoned Multi-unit Row House 1 Zone (MR1) pursuant to “District of Mission Zoning Bylaw 5949-2020” as amended.

“District of Mission Zoning Bylaw” as amended is hereby supplemented in respect of the said lands as follows:

Building design, siting and landscaping plans to be as shown on Drawings Numbered A0, A 4, A5, A6 inclusive, and landscape drawing L-1 which is attached hereto and form part of this permit.

Minor changes to the aforesaid drawings that do not affect the intent of this Development permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Municipality.

4.
 - (a) The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans numbered

Drawings Numbered
A0
A4
A5
A6

inclusive, prepared by Bakerview Building Design (hereinafter referred to as “the plans”), unless approval in writing has been obtained from the Municipality to deviate from the said development plan.

- (b) Access to and egress from the said lands shall be constructed substantially in conformance with the plans.
 - (c) Parking and siting thereof shall substantially conform to the plans.
 - (d) The following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto as Drawing Number L-1 prepared by C. Kavolinas & Associates Inc.
 - (ii) All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the Municipality.
5. As a condition of the issuance of this development permit, the Municipality must have in its possession, prior to issuance of a building permit for this development, security as set out below to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clauses 5 (b) and (c) below. It is acknowledged that, at the time of issuance of this development permit, the municipality does not have such security in its possession. Any prospective purchaser or developer should be aware that this requirement will need to be fulfilled prior to issuance of a building permit for the development outlined in this permit.
- (a) An Irrevocable Letter of Credit in the amount of \$24,246.20 for the purpose of landscaping bond
 - (b) A condition of the posting of the security is that should the Permittee fail to carry out the works or services as herein above stated, according to terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by servants, agents or contractors, and any surplus shall be paid over to the Permittee. If the security deposit is insufficient to cover the actual cost of completing the said works, then the Developer shall pay such deficiency to the Municipality immediately upon receipt of the Municipality's bill for same.
 - (c) The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within this six (6) month period, the Municipality has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

If the landscaping is approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the Municipality having to draw the security, 90% of the original security will be returned to the Permittee.

A holdback of 10% of the original security will be retained until a final inspection is undertaken within 12 months of the date of the original inspection approval was given to the landscaping. If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee. If, after the final inspection, approval of the landscaping is not given, the Municipality has the option of continuing to renew the security until the required landscaping is approved or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.

6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

MAYOR

CORPORATE OFFICER

PROJECT STATISTICS:

CIVIC ADDRESS: 7680 HURD ST, MISSION, BC V2V3J5
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LEGEND:

DENOTES PROPOSED FINISHED GRADE ELEVATION IN METERS

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LOT A	3.5M	6.39M	12.5M	20.1M	1.2M	1.2M
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FSR:

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REVISIONS:

DATE	ISSUED FOR	REV
09.03.2021	BP SUBMISSION	



LEGAL DESCRIPTION:
 LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT

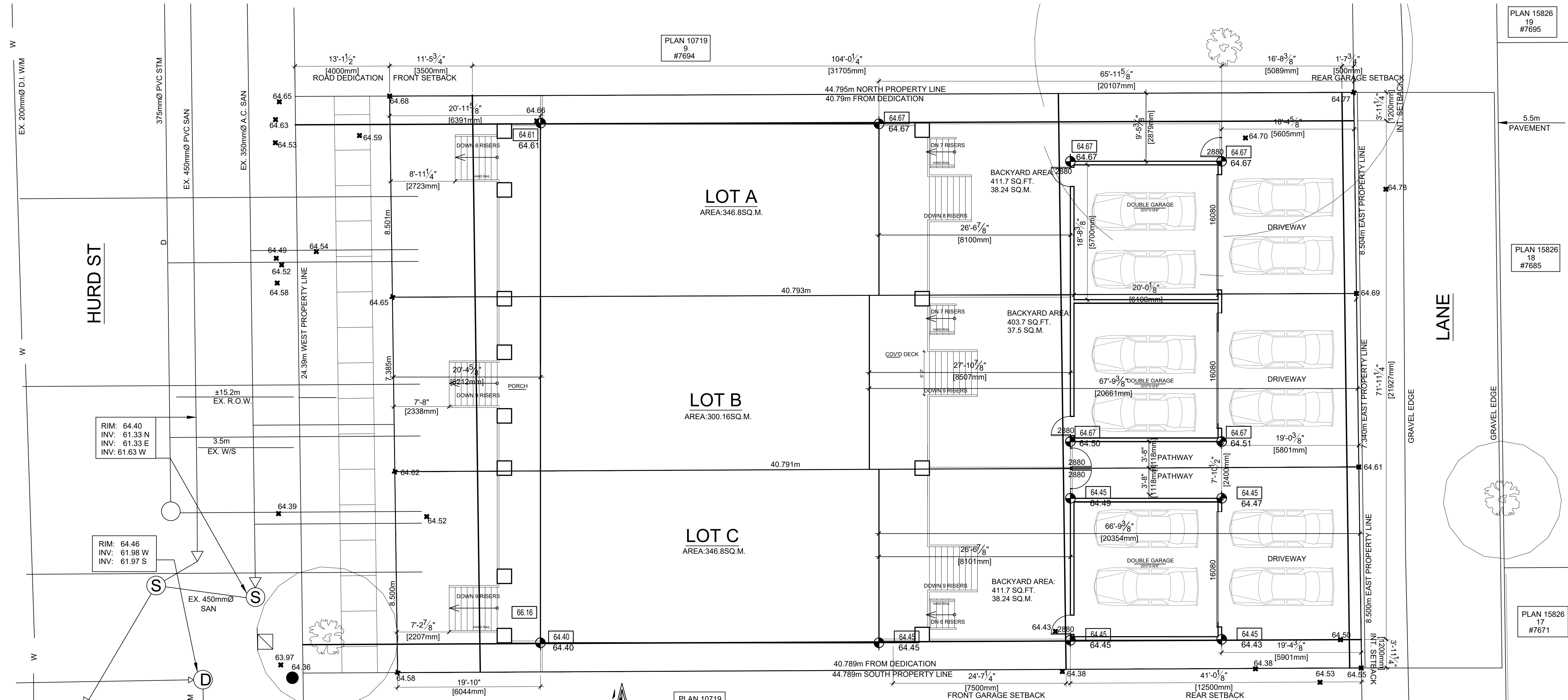
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 PROPOSED TRIPLEX DWELLING

PROJECT LOCATION:
 7680 HURD ST, MISSION BC

DRAWING CONTENTS:
 SITE PLAN & SITE STATISTICS

DRAWN BY: BAKERVIEW DATE: 06 15 2021
 CHECKED BY: BAKERVIEW JOB NO.: 200131
 SCALE: TOTAL SHEETS: 7
 AS SHOWN

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SITE PLAN
 (FULL SIZE) 1/8" = 1'-0"
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STORMWATER MANAGEMENT TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

ALL FINISHED GRADES TO SLOPE DOWN FROM THE BUILDING AT A MINIMUM OF 1% TO ENSURE SUCCESSFUL RUN-OFF OF SURFACE WATER.

REVISIONS:

DATE	ISSUED FOR	REV
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LEGAL DESCRIPTION:
 LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT

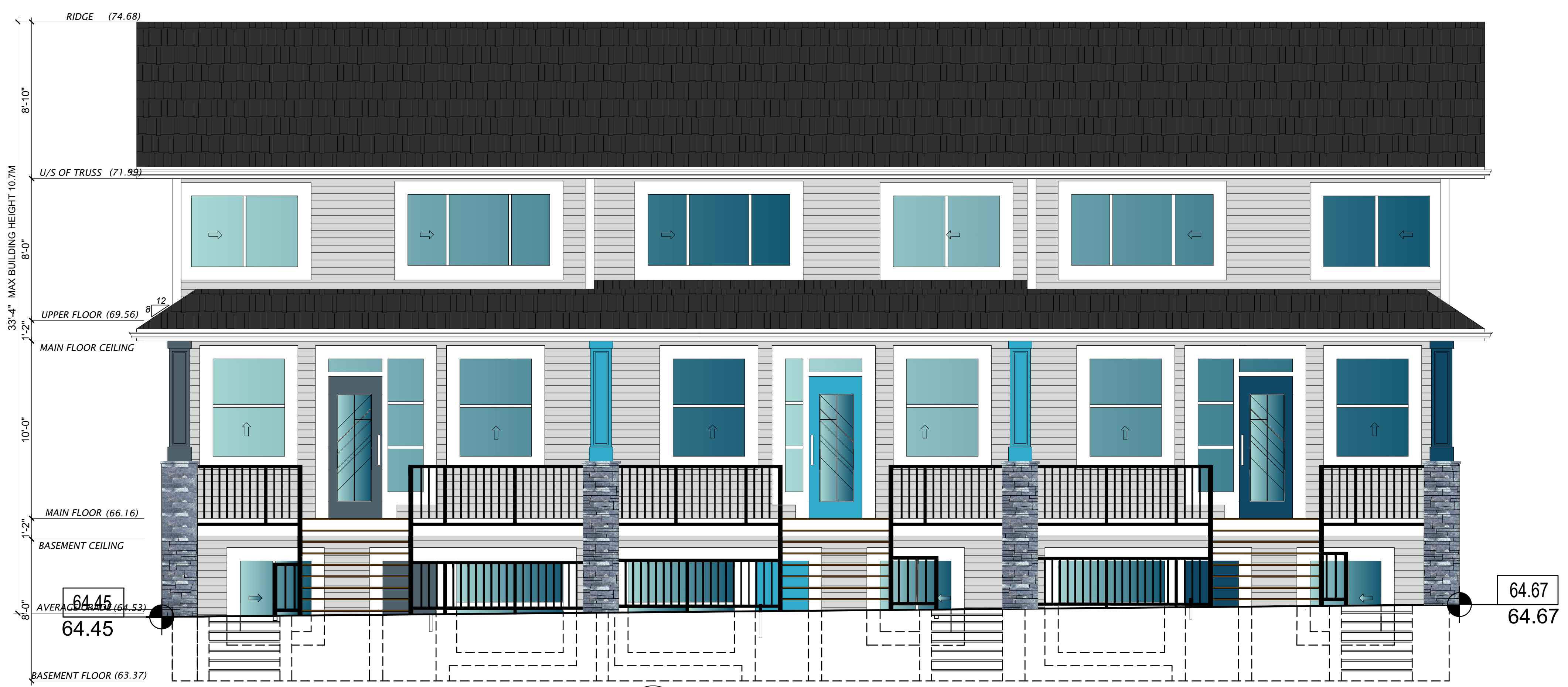
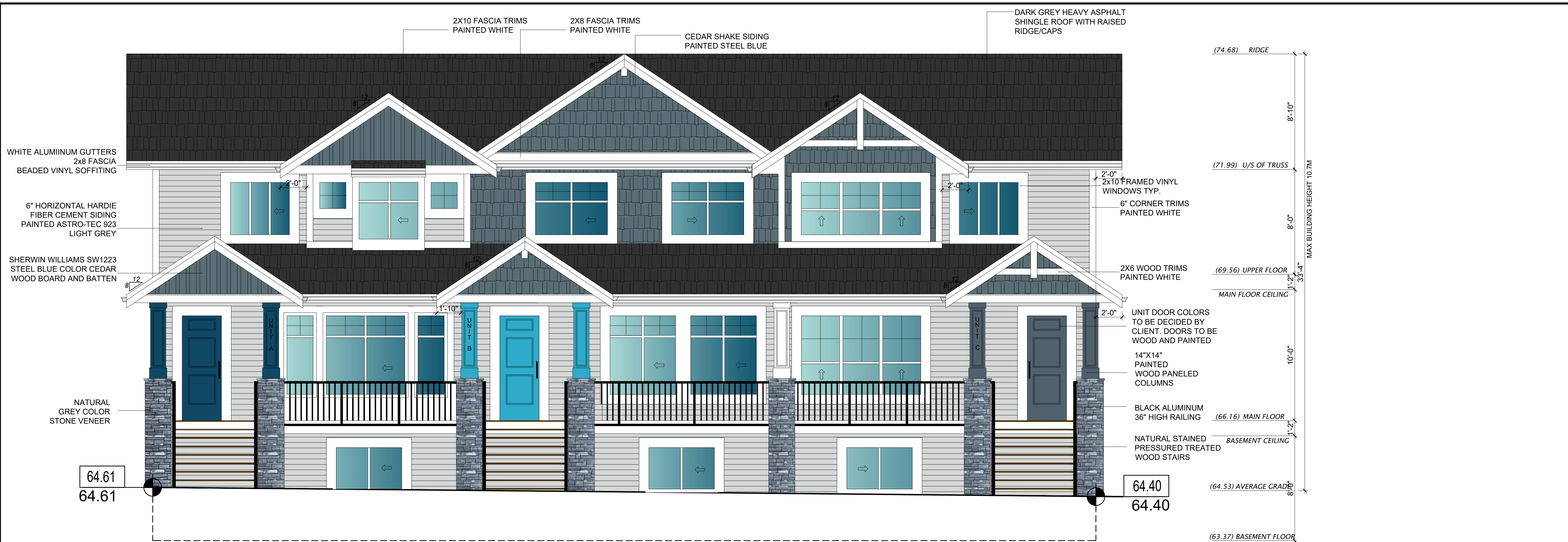
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PROJECT LOCATION:
 7680 HURD ST, MISSION BC

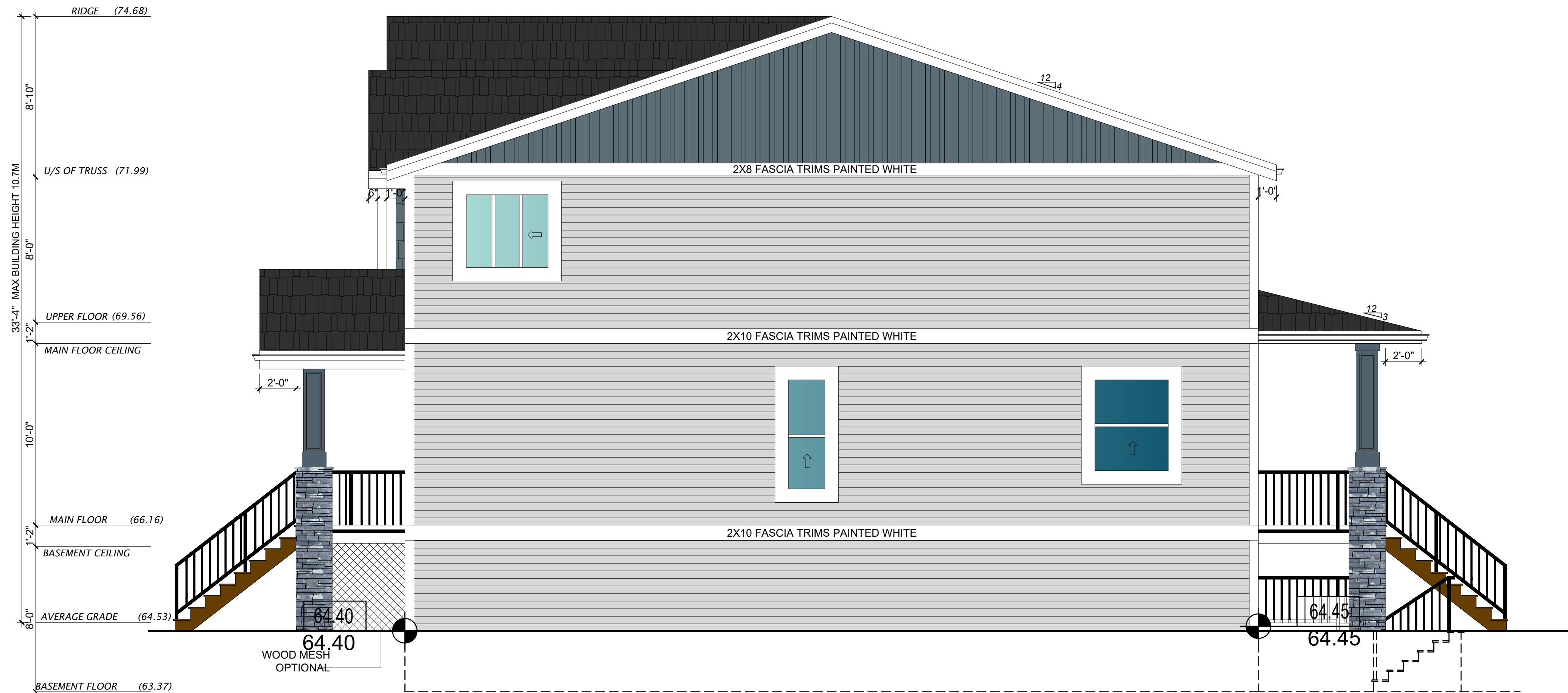
DRAWING CONTENTS:
 FRONT & REAR ELEVATIONS

DRAWN BY: BAKerview	DATE: 06.15.2021
CHECKED BY: BAKerview	JOB NO.: 200131
SCALE: AS SHOWN	TOTAL SHEETS: 7

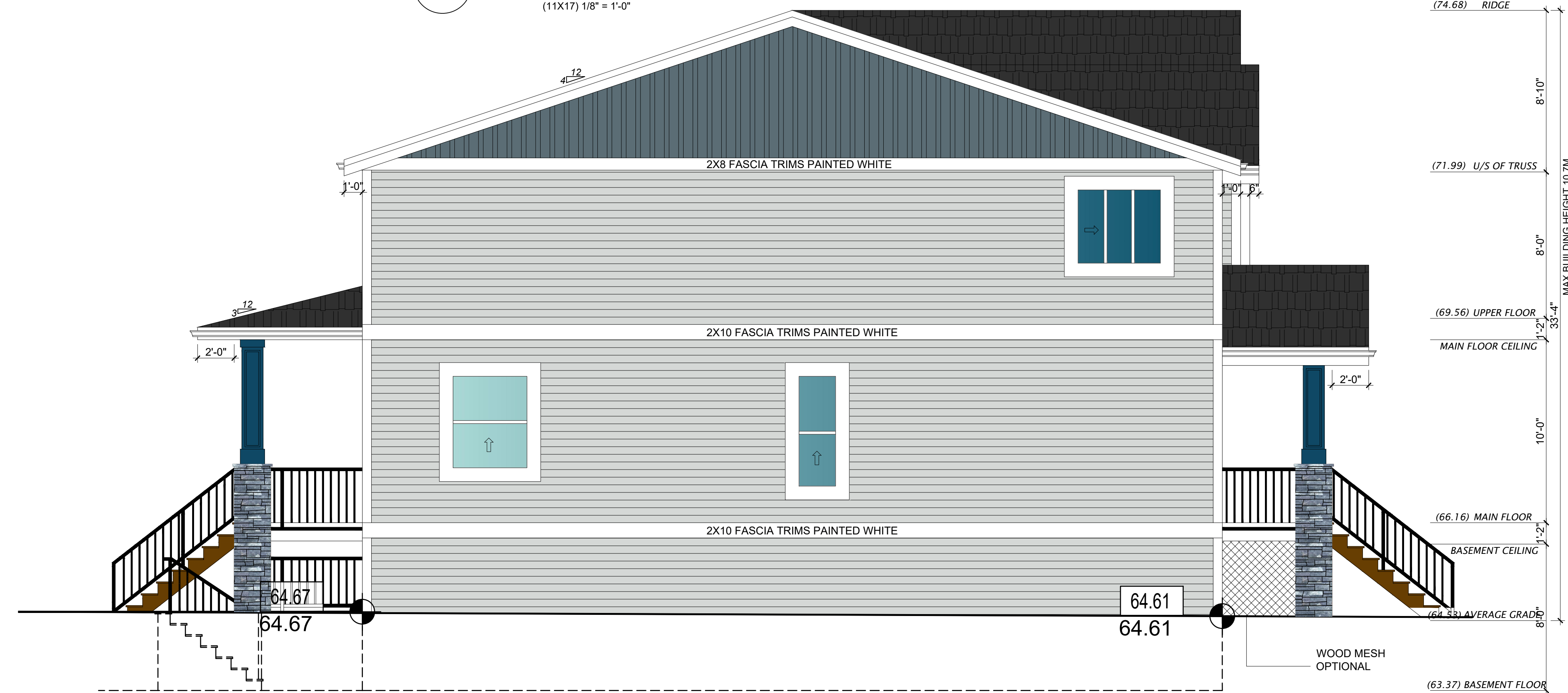
A4



2



1 RIGHT ELEVATION
 (FULL SIZE) 1/4" = 1'-0"
 (11X17) 1/8" = 1'-0"



2 LEFT ELEVATION
 (FULL SIZE) 1/4" = 1'-0"
 (11X17) 1/8" = 1'-0"

NOTES:

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ALL NEW WORK SHALL CONFORM TO THE 2018 BRITISH COLUMBIA BUILDING CODE AND ALL SUPPLEMENT AMENDMENTS AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.

DO NOT SCALE DRAWING. DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY ON SITE AND CO-ORDINATE WITH ALL TRADES AND SUPPLIERS, EQUIPMENT AND SITE CONDITIONS.

IF THE GENERAL CONTRACTOR OR ANY SUB-TRADE CONTRACTOR FAILS TO REPORT A DISCREPANCY TO THE DESIGNER, OR FAIL TO ACT ON ANY CHANGE NOTICE ISSUED BY THE DESIGNER, ALL REPERCUSSIONS OF THIS DECISION WILL BE THE CONTRACTORS RESPONSIBILITY.

ALL MATERIAL AND FRAMING TO MEET THE REQUIREMENTS OF PART 9 (AND PART 4 AND PART 5 WHERE APPLICABLE) OF THE 2018 BRITISH COLUMBIA BUILDING CODE.

CONFIRM LOT DIMENSIONS, GRADE ELEVATIONS AND LOCATION OF ALL BUILDINGS, STRUCTURES, EASEMENTS, SIDEWALK COVENANTS, SWALES AND RIGHT OF WAYS IF ANY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER MANAGEMENT TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

ALL FINISHED GRADES TO SLOPE DOWN FROM THE BUILDING AT A MINIMUM OF 1% TO ENSURE SUCCESSFUL RUN-OFF OF SURFACE WATER.

REVISIONS:

DATE	ISSUED FOR	REV
09.03.2021	BP SUBMISSION	



LEGAL DESCRIPTION:
 LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT

PROJECT DESCRIPTION:
 PROPOSED TRIPLEX DWELLING

PROJECT LOCATION:
 7680 HURD ST, MISSION BC

DRAWING CONTENTS:
 LEFT & RIGHT ELEVATIONS

DRAWN BY: BAKERVIEW	DATE: 06.15.2021
CHECKED BY: BAKERVIEW	JOB NO.: 200131
SCALE: AS SHOWN	TOTAL SHEETS: 7

A5

NOTES:

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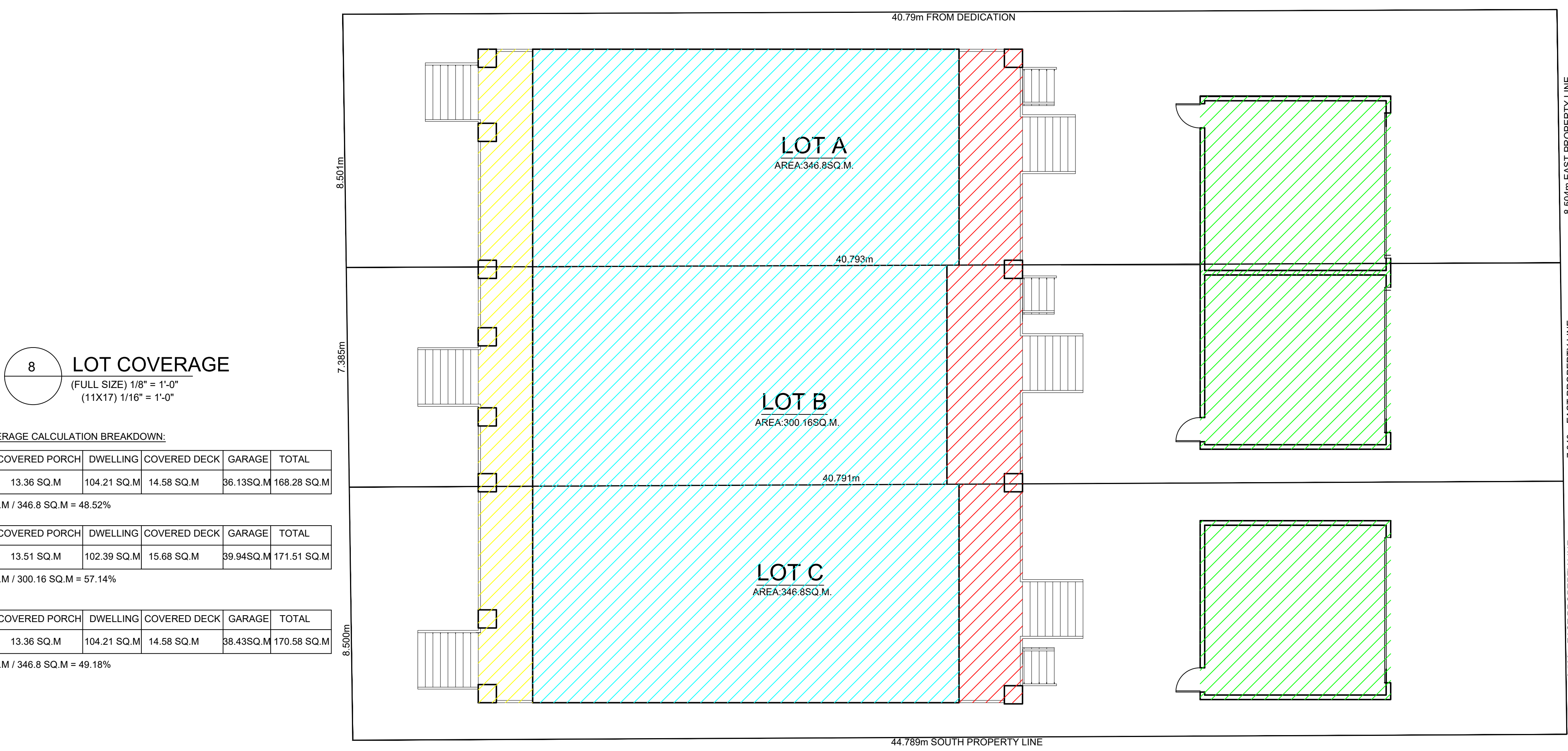
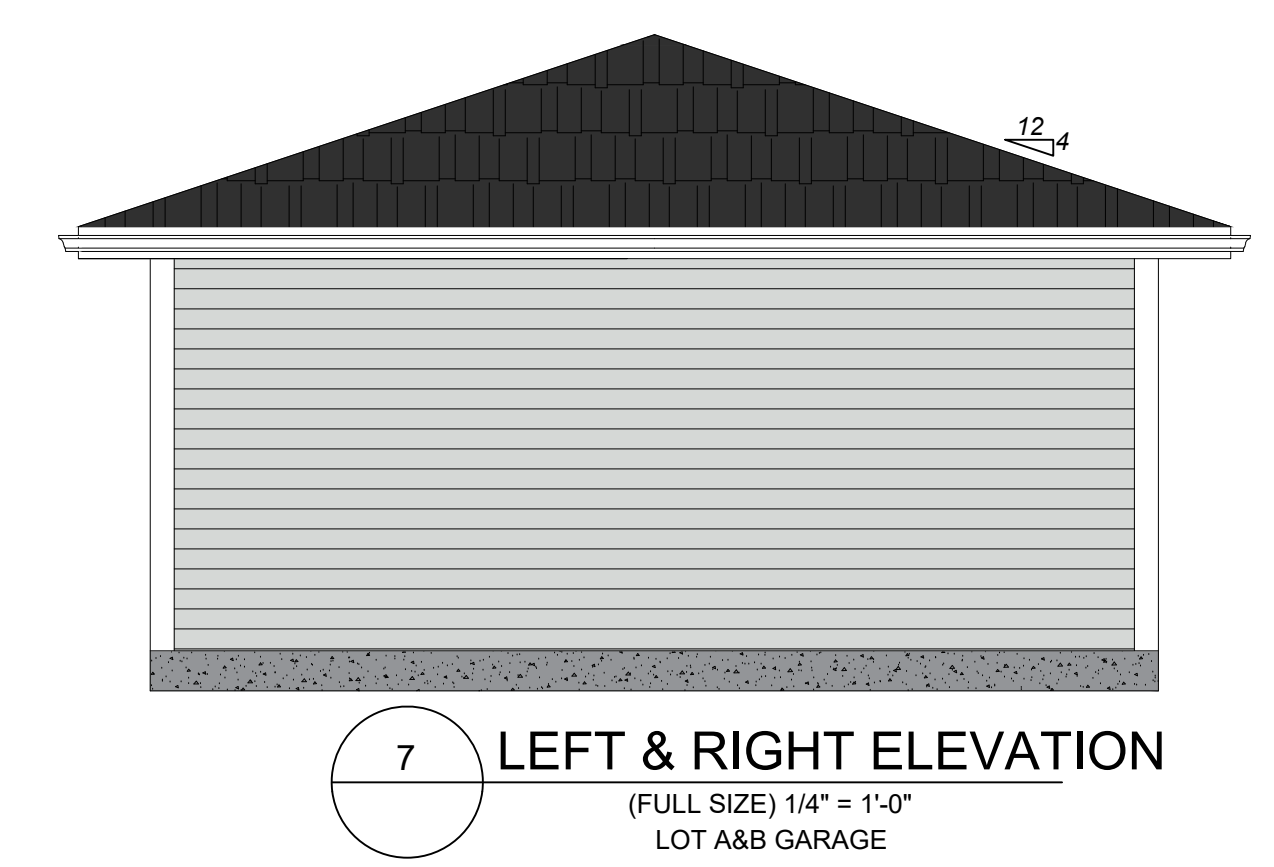
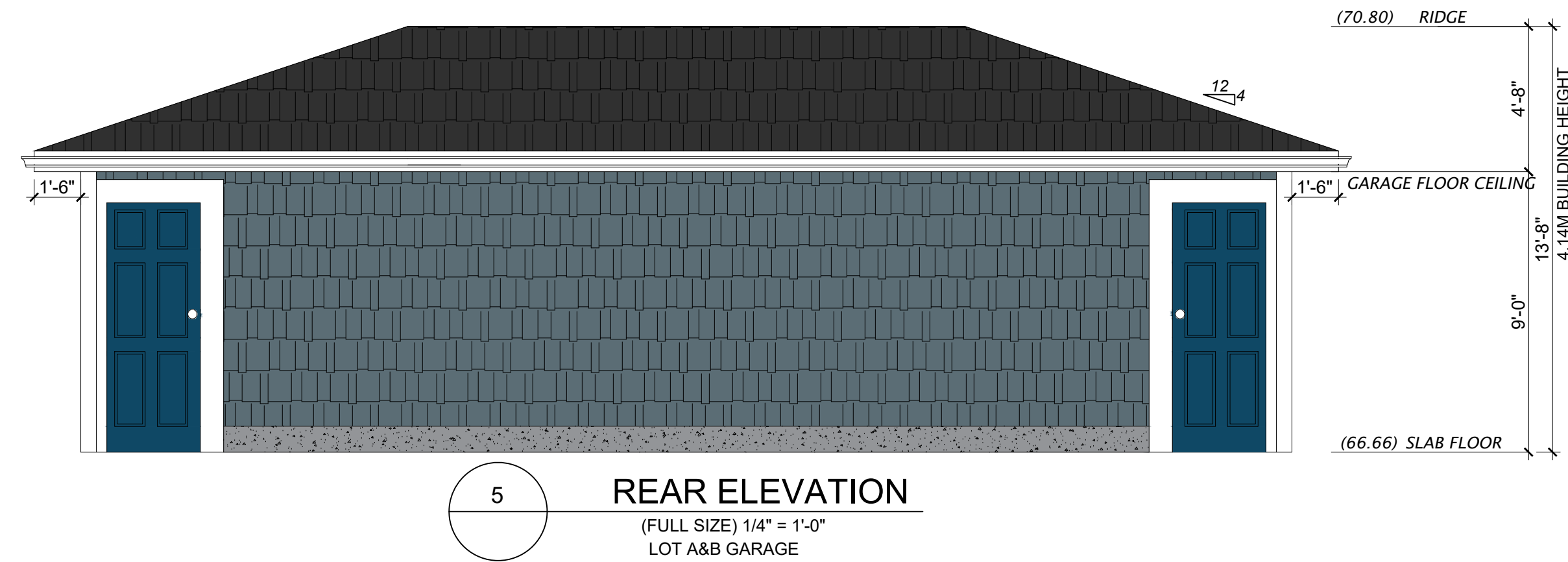
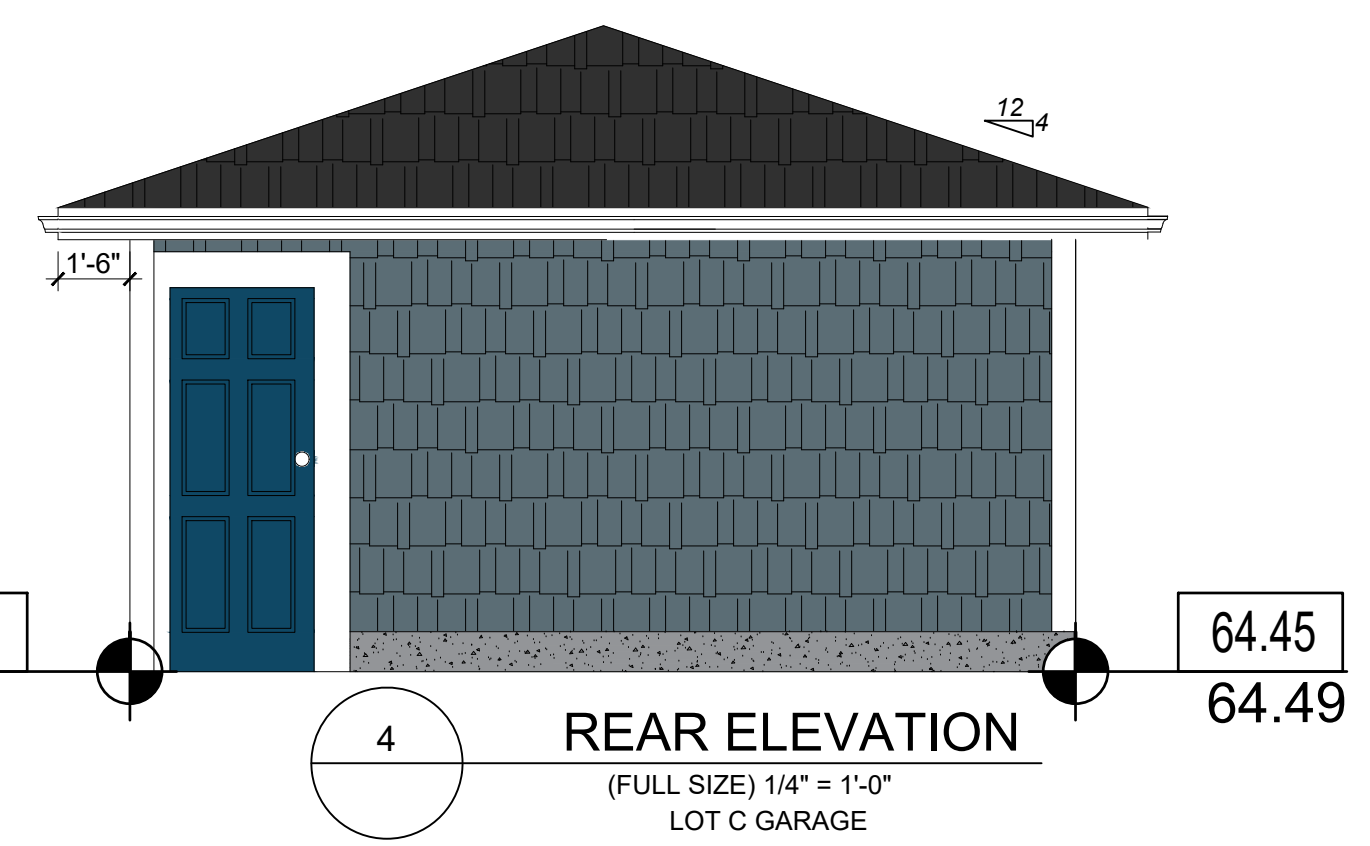
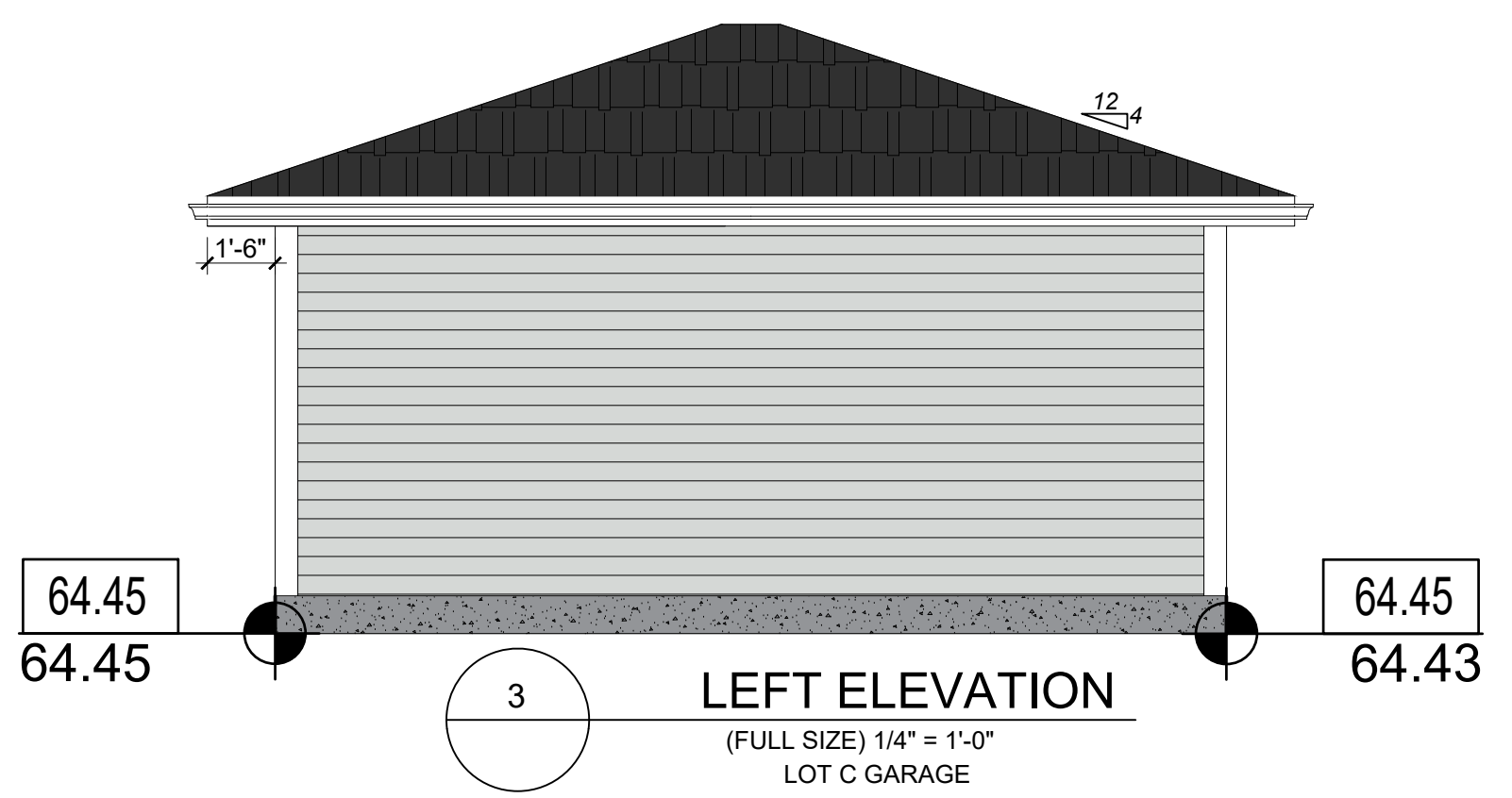
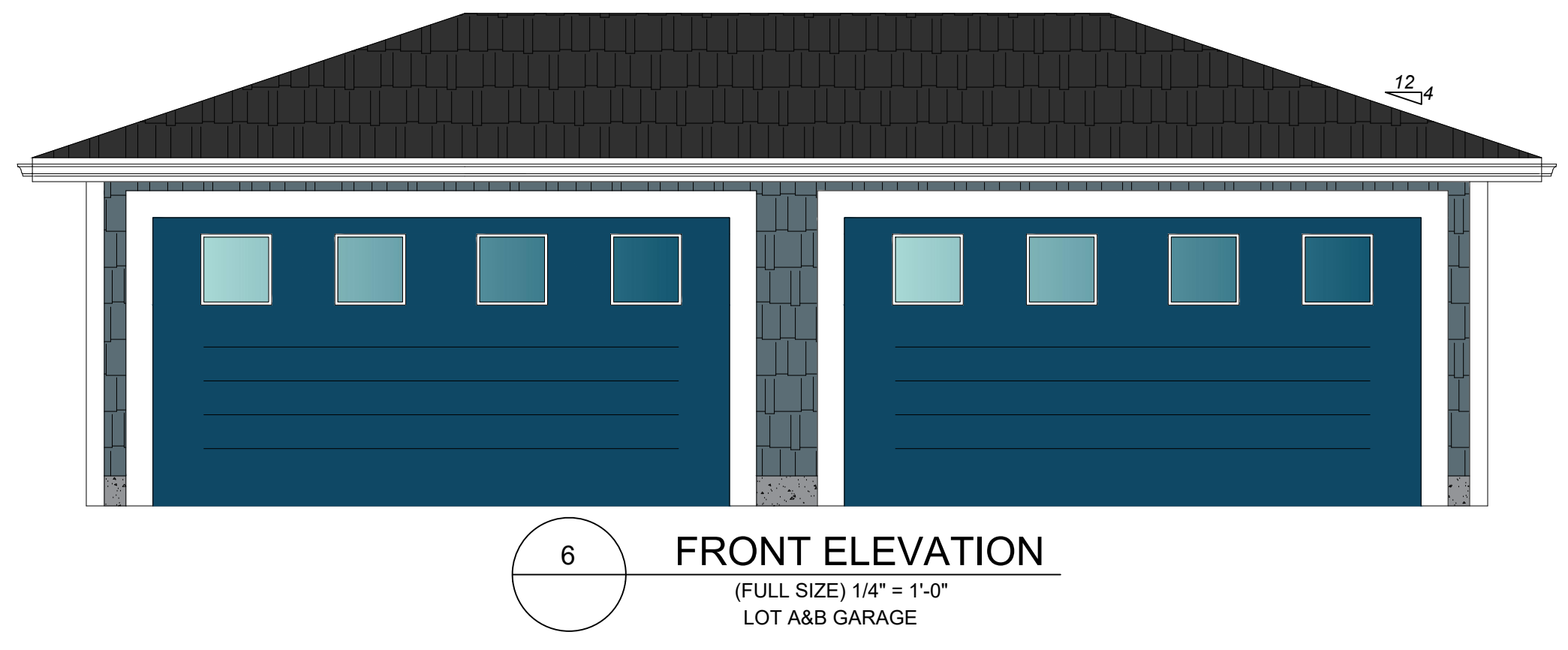
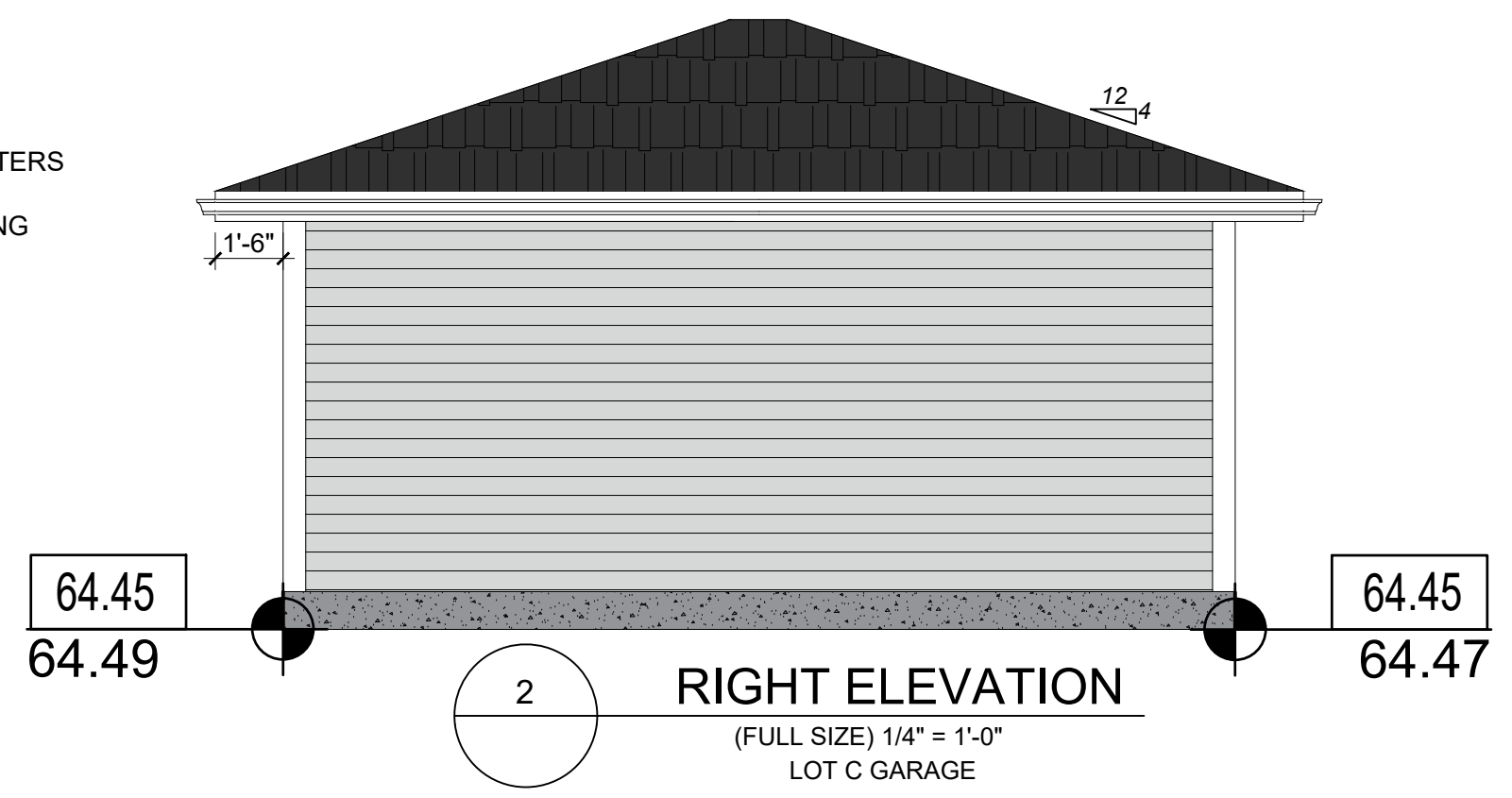
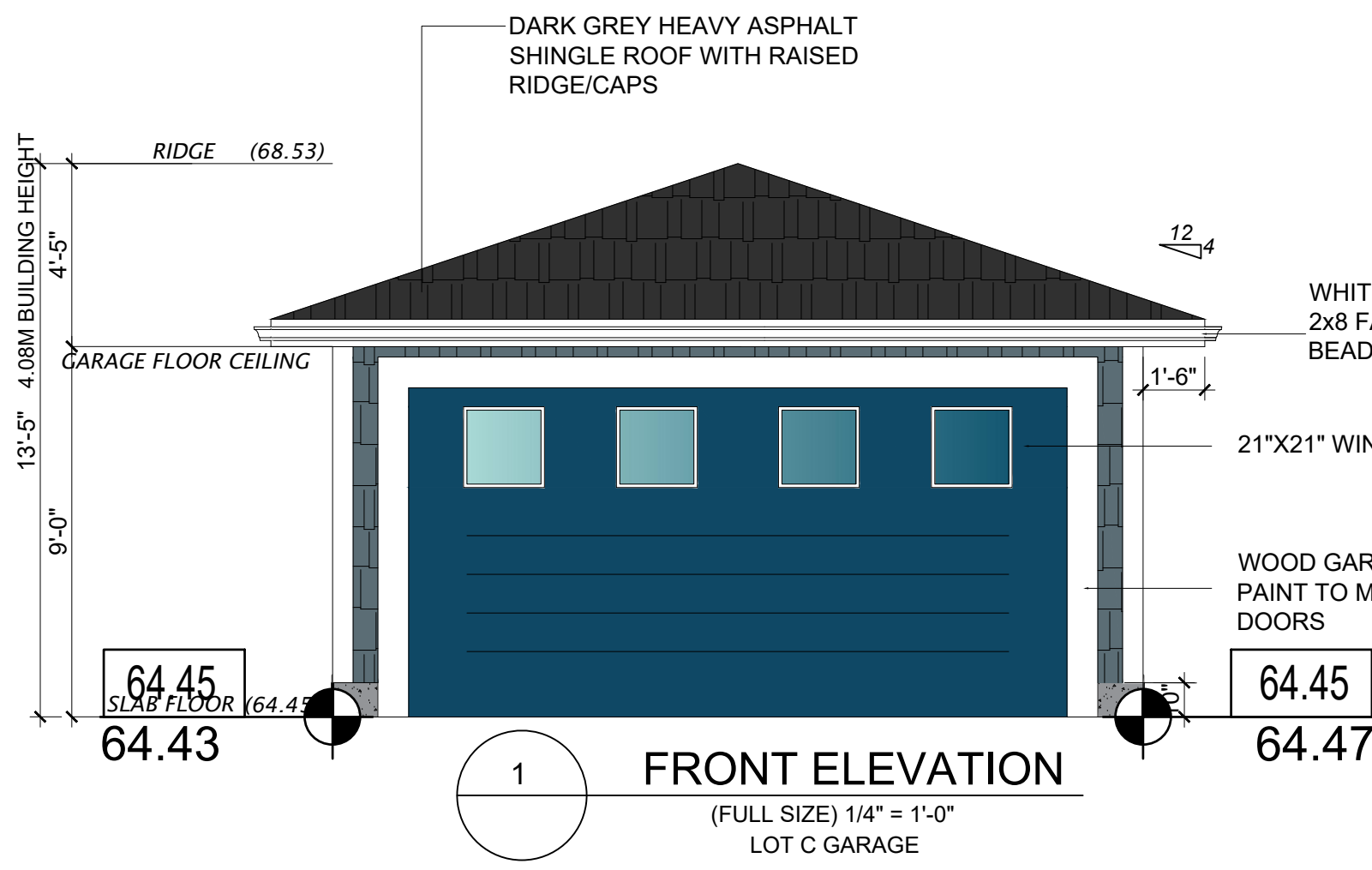
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STORMWATER MANAGEMENT TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION.

ALL FINISHED GRADES TO SLOPE DOWN FROM THE BUILDING AT A MINIMUM OF 1% TO ENSURE SUCCESSFUL RUN-OFF OF SURFACE WATER.



8 LOT COVERAGE
(FULL SIZE) 1/8" = 1'-0"
(11X17) 1/16" = 1'-0"

LOT COVERAGE CALCULATION BREAKDOWN:

LOT A	COVERED PORCH	DWELLING	COVERED DECK	GARAGE	TOTAL
50%	13.36 SQ.M	104.21 SQ.M	14.58 SQ.M	36.13 SQ.M	168.28 SQ.M
168.28 SQ.M / 346.8 SQ.M = 48.52%					
LOT B	COVERED PORCH	DWELLING	COVERED DECK	GARAGE	TOTAL
60%	13.51 SQ.M	102.39 SQ.M	15.68 SQ.M	39.94 SQ.M	171.51 SQ.M
171.52 SQ.M / 300.16 SQ.M = 57.14%					
LOT C	COVERED PORCH	DWELLING	COVERED DECK	GARAGE	TOTAL
50%	13.36 SQ.M	104.21 SQ.M	14.58 SQ.M	38.43 SQ.M	170.58 SQ.M
170.58 SQ.M / 346.8 SQ.M = 49.18%					

REVISIONS:

DATE	ISSUED FOR	REV
09.03.2021	BP SUBMISSION	



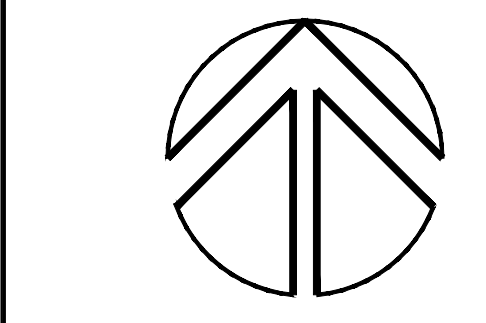
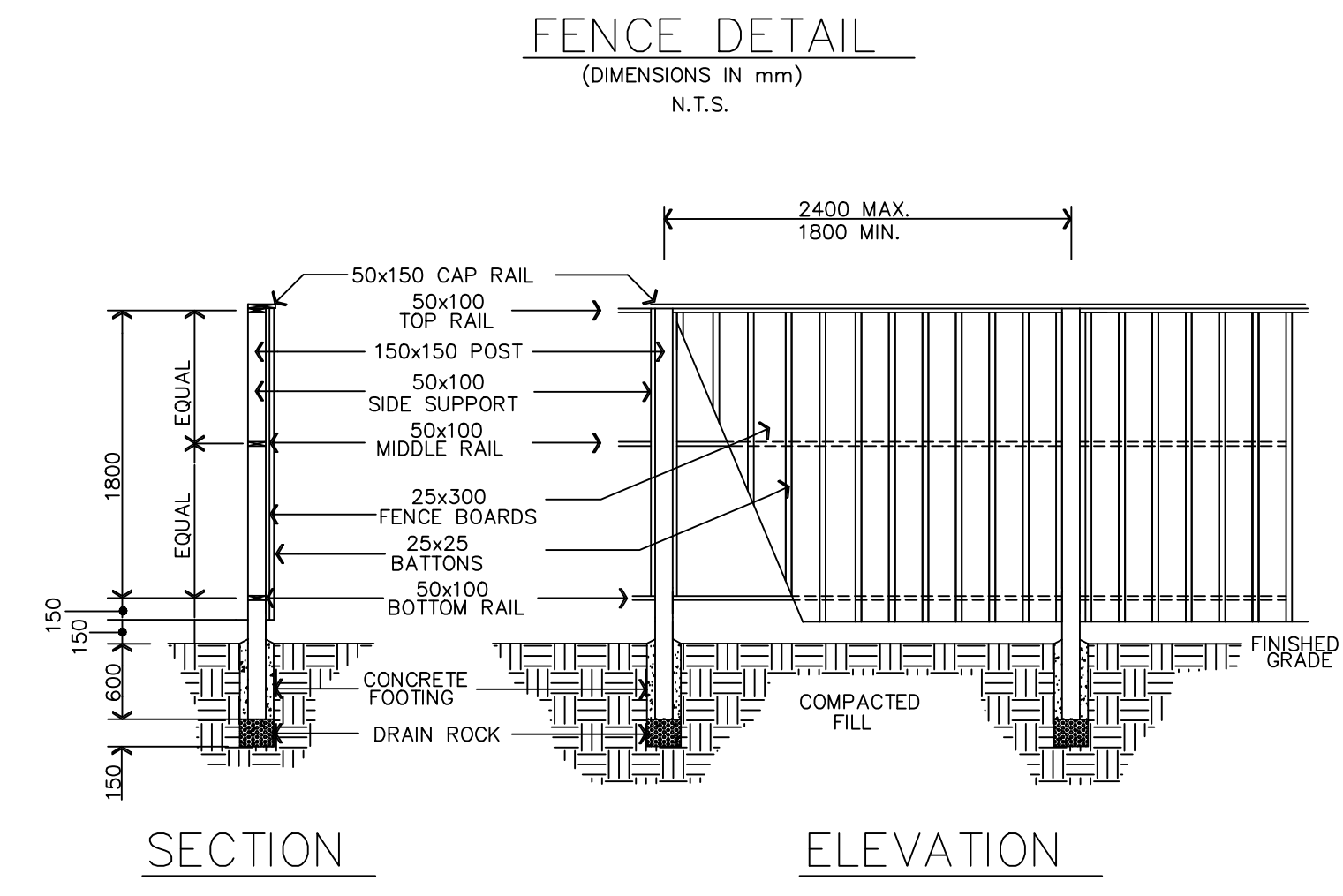
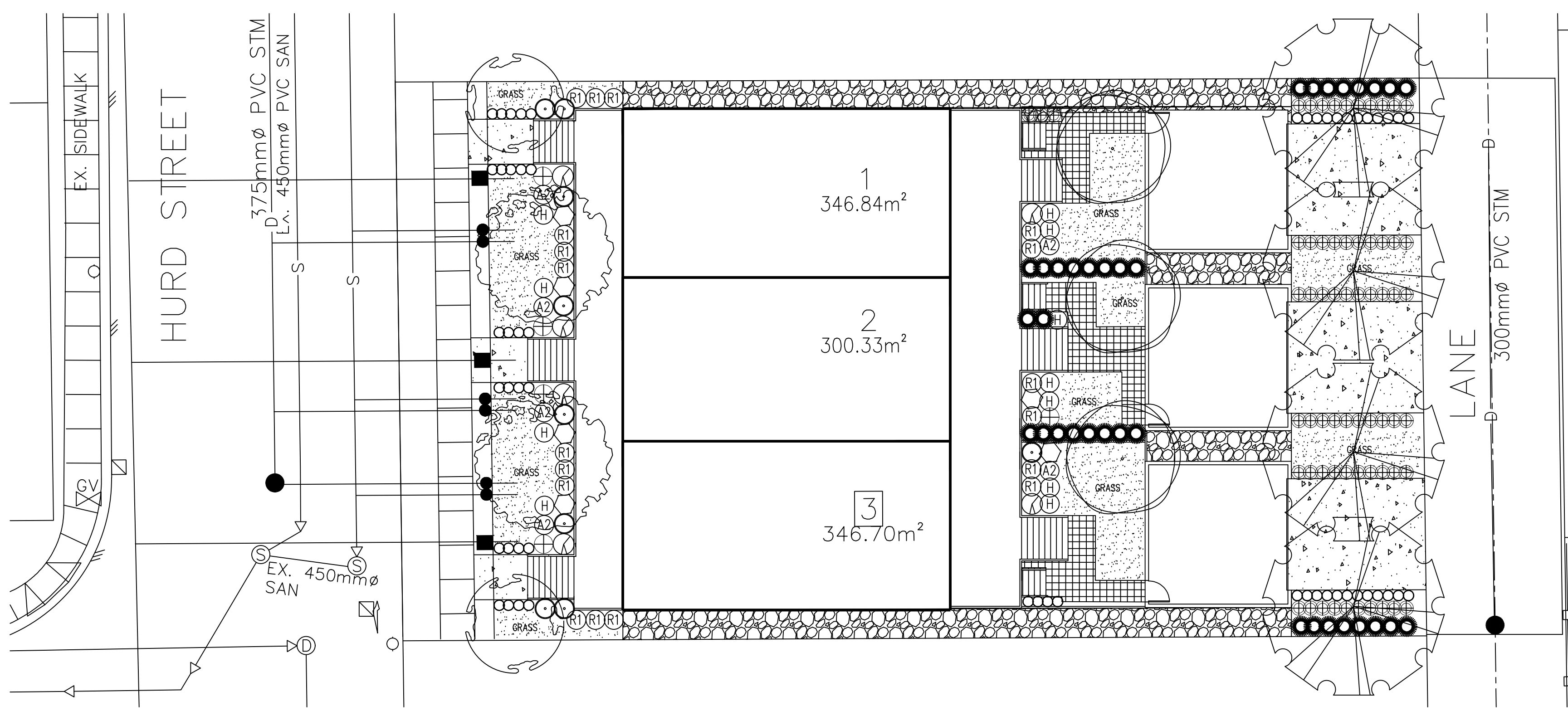
LEGAL DESCRIPTION:
LOT 8, PLAN NWP10719, SECTION 20, TOWNSHIP 17, NEW WESTMINSTER LAND DISTRICT

PROJECT DESCRIPTION:
PROPOSED TRIPLEX DWELLING

PROJECT LOCATION:
7680 HURD ST, MISSION BC

DRAWING CONTENTS:
DETACHED GARAGE ELEVATIONS & LOT COVERAGE

DRAWN BY: BAKERVUE DATE: 06.15.2021
CHECKED BY: BAKERVUE JOB NO.: 200131
SCALE: AS SHOWN TOTAL SHEETS: 7



- GRAVEL
- CONCRETE
- EXPOSED AGGREGATE

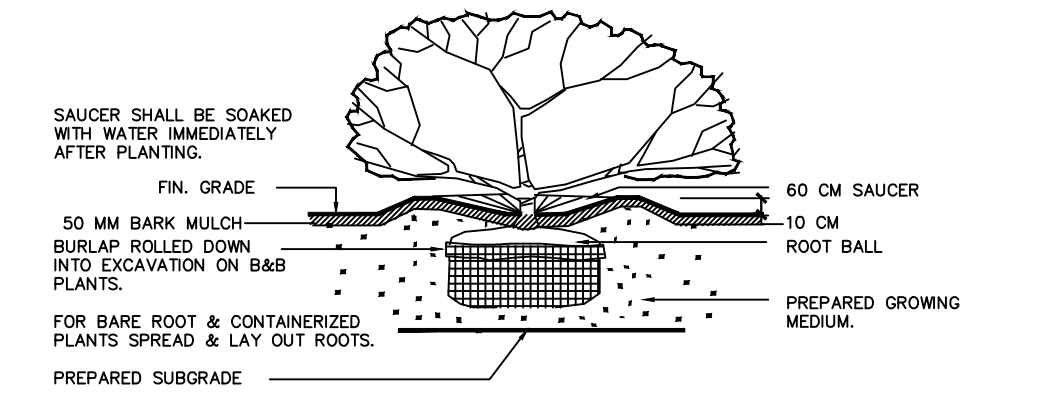
DATE	REMARKS	NO.
	REVISIONS	

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	FRAXINUS OXYCARPA RAYWOOD	RAYWOOD ASH	4	6 CM. CAL.	AS SHOWN	B. & B.
	GINKGO BILOBA	GINKGO	2	6 CM. CAL.	AS SHOWN	B. & B.
	ACER GRISEUM	PAPERBARK MAPLE	3	6 CM. CAL.	AS SHOWN	B. & B.
	ACER GINNALA	AMUR MAPLE	2	6 CM. CAL.	AS SHOWN	B. & B.
	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	5	#3 POT	90 CM. O.C.	
	AZALEA JAPONICA (VARIOUS)	JAPANESE AZALEA	6	#3 POT	90 CM. O.C.	
	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	6	#3 POT	90 CM. O.C.	
	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	52	#3 POT	45 CM. O.C.	
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	8	#3 POT	90 CM. O.C.	
	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	18	#3 POT	90 CM. O.C.	
	HOSTA (VARIOUS)	HOSTA	12	#3 POT	90 CM. O.C.	
	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	6	#3 POT	90 CM. O.C.	
	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	63	#3 POT	70 CM. O.C.	
	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	34	1.50 METERS	70 CM. O.C.	

NOTES / GENERAL

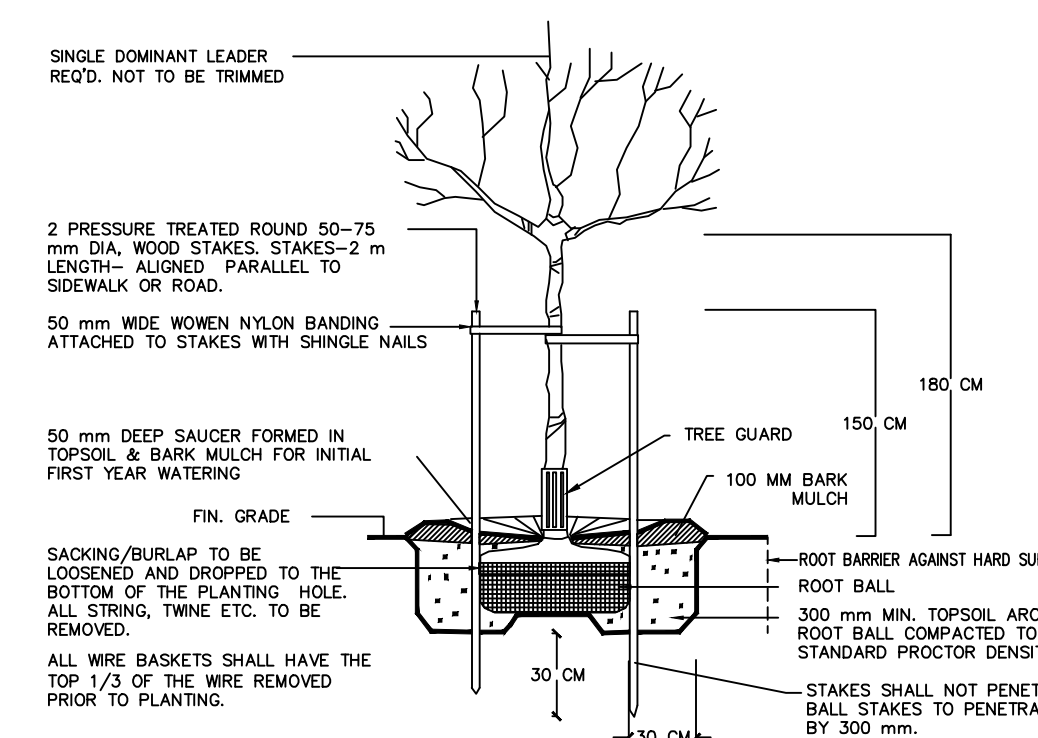
- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONTA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD"
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BCMA/BCSLA "LANDSCAPE STANDARDS"
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:

LAWN AREAS	300 mm
GROUND COVER AREAS	450 mm
SHRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL. WOODY PLANT PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS

SECTION N.T.S.



TREE PLANTING DETAIL

N.T.S.

C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA

2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT

NAROTAM VERMA
c/o EVERTEK ENGINEERING
ATTENTION HERMANT BAINS
SUITE #202
2692 CLEARBROOK ROAD
ABBOTSFORD, B.C. V2T 2Y8

TITLE

PLAN VIEW

LANDSCAPE PLAN
PROPOSED
TRIPLEX
7680 HURD STREET
MISSION, B.C.

SCALE 1:150	DATE JAN/22
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	L-1

